

*2/19/11*

**CITY OF STAMFORD  
ZONING BOARD OF APPEALS**

Stamford Government Center  
888 Washington Blvd.  
P.O. Box 10152  
Stamford, CT 06904-2152

Telephone 203.977.4160 - Fax 203.977.4100 - E-mail [mjudge@stamfordct.gov](mailto:mjudge@stamfordct.gov)

**PLEASE PRINT ALL INFORMATION IN INK**

1. I/we hereby apply to the Zoning Board of Appeals for:

- Variance(s)
- Special Permit
- Appeal from Decision of Zoning Enforcement Officer
- Extension of Time
- Motor Vehicle Approval:**

New Car Dealer ( ) Used Car Dealer ( ) General Repairer ( ) Limited Repairer ( ) Gasoline Station ( )

2. Address of affected premises:

43 ROLLING WOOD DRIVE

06905

street

zip code

Property is located on the north ( ) south ( ) east  west ( ) side of the street.

Block: 324 Zone: R-10 Sewered Property  yes ( ) no

Is the structure 50 years or older  yes ( ) No

Corner Lots Only: Intersecting Street: N/A

Within 500 feet of another municipality: No  Yes ( ) Town of \_\_\_\_\_

3. Owner of Property: MARK & RONA KATZ

Address of Owner: 43 ROLLING WOOD DR. Zip 06905

Applicant Name: MARK KATZ

Address of Applicant 43 ROLLING WOOD DR. Zip 06905

Agent Name: MARK KATZ

Address of Agent: 43 ROLLING WOOD DR. Zip 06905

EMAIL ADDRESS: KATZ3@OPTONLINE.NET  
(Must be provided to receive comments from letters of referral)

Telephone # of Agent 1-914-263-2160 Telephone # of Owner 1 914 263-2160

(CONTACT IS MADE WITH AGENT, IF ONE)

4. List all structures and uses presently existing on the affected property:

EXISTING SINGLE FAMILY DWELLING WITH DECK,  
PATIO AND SHED

5. Describe in detail the proposed use and give pertinent linear and area dimensions:

ADD 12' X 22' DECK TO EXISTING DECK

**VARIANCES (complete this section for variance requests only)**  
**See a Zoning Enforcement Officer for help in completing this section**

Variance(s) of the following section(s) of the Zoning Regulations is requested  
(provide detail of what is sought per the applicable section(s) of the Zoning Regulations):

VARIANCE OF TABLE III APPENDIX B FOR PROPOSED  
DECK ADDITION

REQUESTING DECK TO HAVE A 6' SIDE YARD IN LIEU OF 10' MIN ALLOWED

Shed to be removed or brought within  
compliance - 5-foot min setback

Variations of the Zoning Regulations may be granted where there is unusual hardship in the way of carrying out the strict letter of the Regulations solely with respect to a parcel of land where conditions especially affect such parcel but do not affect generally the district in which it is situated. In your own words:

A. Describe the unusual hardship in being unable to carry out the strict letter of the Zoning Regulations:

EXISTING DECK & DWELLING LOCATION

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B. Explain why the variance(s) is/are the minimum necessary to afford relief:

SIZE OF PROPOSED DECK IS MINIMUM NECESSARY TO CREATE A  
FUNCTIONAL & USABLE OUTDOOR AREA

C. Explain why granting of the variance(s) would not be injurious to the neighborhood.

THE PROPOSED DECK IS NO CLOSER TO THE SIDE YARD THAN THE  
EXISTING DECK AND IS LOCATED ON THE REAR OF THE DWELLING

**SPECIAL PERMIT**

(Complete this section only for special exceptions)

SPECIAL EXCEPTION is requested as authorized by Section(s) \_\_\_\_\_  
of the Zoning Regulations.  
Provide details of what is being sought:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**MOTOR VEHICLE APPLICATIONS**

(Complete this section only for Motor Vehicle/Service Dealers Applications)  
Provide details of what is being sought.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**SIGNATURE REQUIRED FOR ALL APPLICATIONS**

*Mark King*

Signature of:     Agent     Applicant     Owner

Date Filed: 3/2/2021

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Zoning Enforcement Officer Comments:

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**DECISION OF THE ZONING ENFORMENT OFFICER**

(Complete this section **only** for appeals of zoning enforcement officer decision

DECISION OF THE ZONING ENFORCEMENT OFFICER dated \_\_\_\_\_ is appealed because:

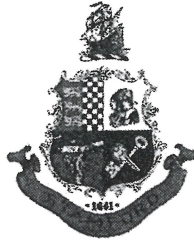
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**CITY OF STAMFORD  
ZONING BOARD OF APPEALS**


**APPLICATION PACKET**

Board Members  
**Claire D. Friedlander, Chair**  
**John A. Sedlak**  
**Mary Savage**  
**Nino Antonelli**  
**Joseph Pigott**

Alternate  
**Ernest Matarasso**  
**Matthew Tripolitsiotis**  
**Lauren Jacobson**

Land Use Administrative Assistant  
**Mary Judge**

**ALL APPLICATIONS MUST BE APPROVED AND REVIEWED BY THE  
ZONING ENFORCEMENT AT LEAST ONE WEEK PRIOR TO THE  
SUBMITTAL DATE**

Zoning Enforcement:  Date: 2/24/2021

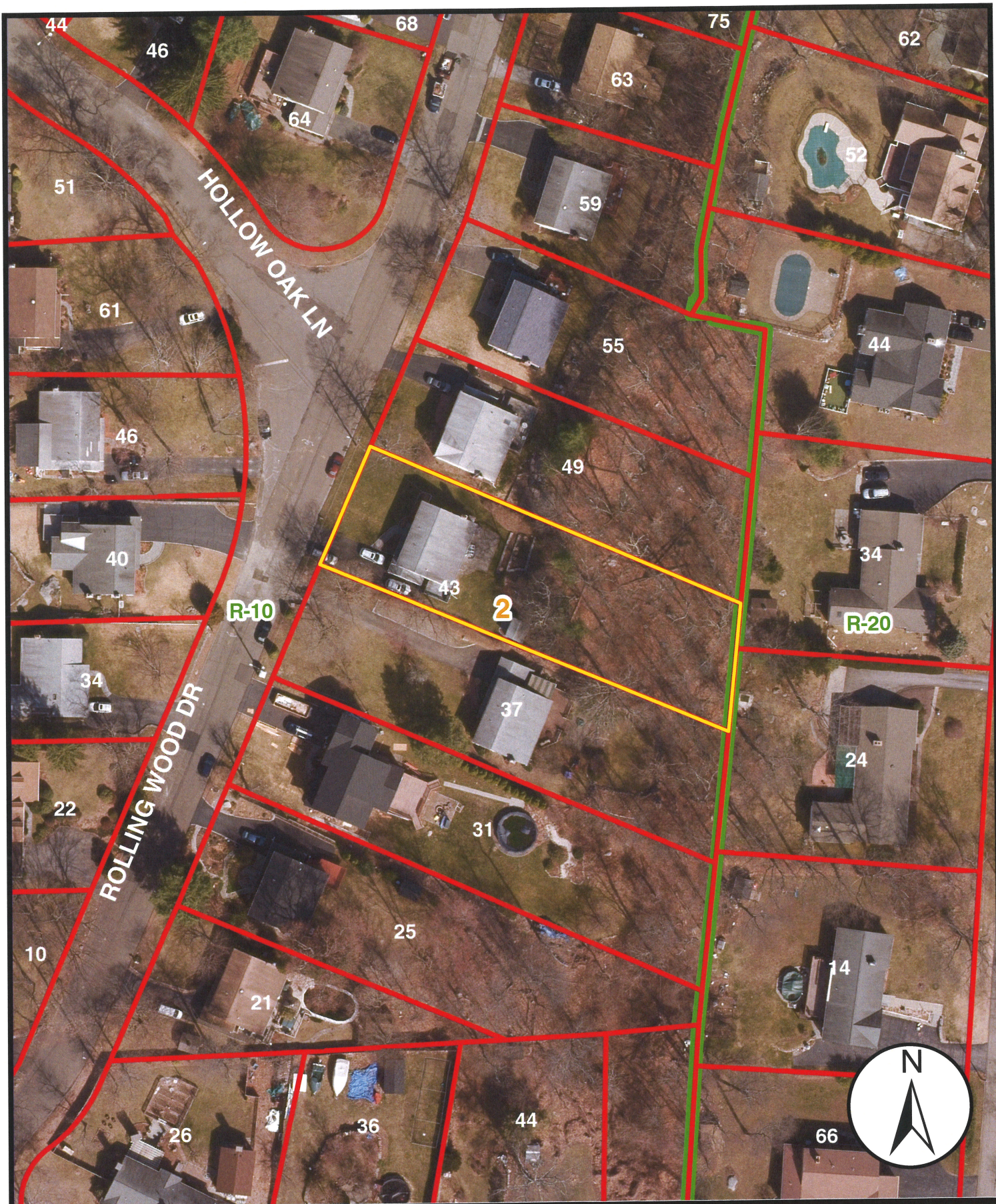
Is the project situated in the coastal boundary? Yes ( ) No (X)

Is the project exempt from the coastal regulation?  
Yes ( ) Exemption # \_\_\_\_\_ No ( ) N/A ( )

Environmental Protection: \_\_\_\_\_ Date: \_\_\_\_\_

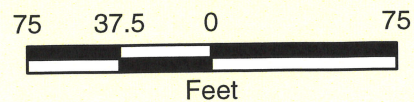
CAM Review by: Zoning Board  ZBA





Date: 3/8/2021

1 inch = 75 feet



**ZBA Application #005-21**  
**43 Rolling Wood Drive**