


CITY OF STAMFORD
ZONING BOARD OF APPEALS

Stamford Government Center
888 Washington Blvd.
P.O. Box 10152
Stamford, CT 06904-2152



Telephone 203.977.4160 - Fax 203.977.4100 - E-mail mjudge@stamfordct.gov

PLEASE PRINT ALL INFORMATION IN INK

1. I/we hereby apply to the Zoning Board of Appeals for:

- Variance(s)
- Special Permit
- Appeal from Decision of Zoning Enforcement Officer
- Extension of Time
- Motor Vehicle Approval:

New Car Dealer () Used Car Dealer () General Repairer () Limited Repairer () Gasoline Station ()

2. Address of affected premises:

26 Raymond Street

06902

street

zip code

Property is located on the north () south () east () west(X) side of the street.

Block: 125 Zone: R-5 Sewered Property (X) yes () no

Is the structure 50 years or older (X) yes () No

Corner Lots Only: Intersecting Street: _____

Within 500 feet of another municipality: No (X) Yes () Town of _____

3. Owner of Property: Jose Fredy Veliz and Hilda Veronica Veliz

Address of Owner: 26 Raymond Street, Stamford, CT Zip 06902

Applicant Name: Jose Fredy Veliz and Hilda Veronica Veliz

Address of Applicant: 26 Raymond Street, Stamford, CT Zip 06902

Agent Name: Quesited Consulting LLC (Katie Wagner)

Address of Agent: 65 High Ridge Rd, #470, Stamford, CT Zip 06905

EMAIL ADDRESS: stamford.permit@gmail.com

(Must be provided to receive comments from letters of referral)

Telephone # of Agent 203-223-1125 Telephone # of Owner 203-898-1245

(CONTACT IS MADE WITH AGENT, IF ONE)

4. List all structures and uses presently existing on the affected property:

5. Describe in detail the proposed use and give pertinent linear and area dimensions:

There is no proposed change of use. It will remain a two family residence and a shed.

Proposed is an addition of 624 square feet to the existing two-family structure. It will measure 24 feet by 26 feet providing two additional bedrooms per floor with related incidental spaces.

VARIANCES (complete this section for variance requests only)
See a Zoning Enforcement Officer for help in completing this section

Variance(s) of the following section(s) of the Zoning Regulations is requested
(provide detail of what is sought per the applicable section(s) of the Zoning Regulations):

Seeking to construct, in alignment with the existing side yard set-back, an addition to an existing, legally non-conforming, two family house, built in 1900. See section 10.E of the Stamford Zoning Regulations.

The existing original side yard is 2.7' from the property line, which is within the required 6' set-back, as noted in Appendix B, Table III, of the Stamford Zoning Regulations.

The proposed expansion would extend off of the back of the house aligning with the existing south side wall.

Request: Continuation of existing 2.7' set-back in lieu of the required 6' per Appendix B, Table III.

Variiances of the Zoning Regulations may be granted where there is unusual hardship in the way of carrying out the strict letter of the Regulations solely with respect to a parcel of land where conditions especially affect such parcel but do not affect generally the district in which it is situated. In your own words:

A. Describe the unusual hardship in being unable to carry out the strict letter of the Zoning Regulations:

In order to construct an addition that will result in a house that is cohesive with the existing structure, not only outside, but also inside, creating a home with proper interior relationships between the new and existing, necessitates aligning with the south side wall.

ZONING ENFORCEMENT APPROVAL
For Submission to Zoning Board of Appeals

Sheet 1 of 1

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Authorized Signature [Signature] Date 7/9/21

B. Explain why the variance(s) is/are the minimum necessary to afford relief:

Not being able to align with the south side wall of the existing structure will distort the interior

functionality of the addition, impacting the interior alignment of existing circulation patterns and disrupting existing interior spaces.

Type text here

C. Explain why granting of the variance(s) would not be injurious to the neighborhood.

Granting the variance will allow the side yard set-back to remain just as it is now. It permits exterior continuity of the structure thereby not being injurious to the neighborhood.

SPECIAL PERMIT

(Complete this section only for special exceptions)

SPECIAL EXCEPTION is requested as authorized by Section(s) _____ of the Zoning Regulations.

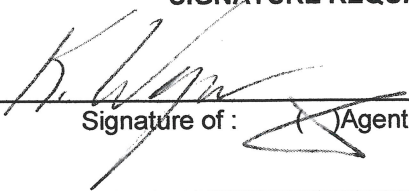
Provide details of what is being sought:

MOTOR VEHICLE APPLICATIONS

(Complete this section only for Motor Vehicle/Service Dealers Applications)

Provide details of what is being sought.

SIGNATURE REQUIRED FOR ALL APPLICATONS



Signature of : Agent () Applicant () Owner

Date Filed: _____

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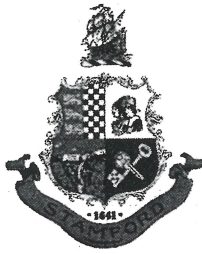
Zoning Enforcement Officer Comments:

DECISION OF THE ZONING ENFORMENT OFFICER

(Complete this section **only** for appeals of zoning enforcement officer decision

DECISION OF THE ZONING ENFORCEMENT OFFICER dated _____ is appealed because:

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**CITY OF STAMFORD
ZONING BOARD OF APPEALS**

APPLICATION PACKET

Board Members
Claire D. Friedlander, Chair
John A. Sedlak
Mary Savage
Nino Antonelli
Joseph Pigott

Alternate
Ernest Matarasso
Matthew Tripolitsiotis
Lauren Jacobson

Land Use Administrative Assistant
Mary Judge

**ALL APPLICATIONS MUST BE APPROVED AND REVIEWED BY THE
ZONING ENFORCEMENT AT LEAST ONE WEEK PRIOR TO THE
SUBMITTAL DATE**

Zoning Enforcement: _____

Date: _____

2/9/21

Is the project situated in the coastal boundary? Yes () No (X)

Yes

No

Is the project exempt from the coastal regulation? Yes () Exemption # _____ No () N/A (X)

Yes () Exemption # _____

No ()

N/A (X)

Environmental Protection: _____

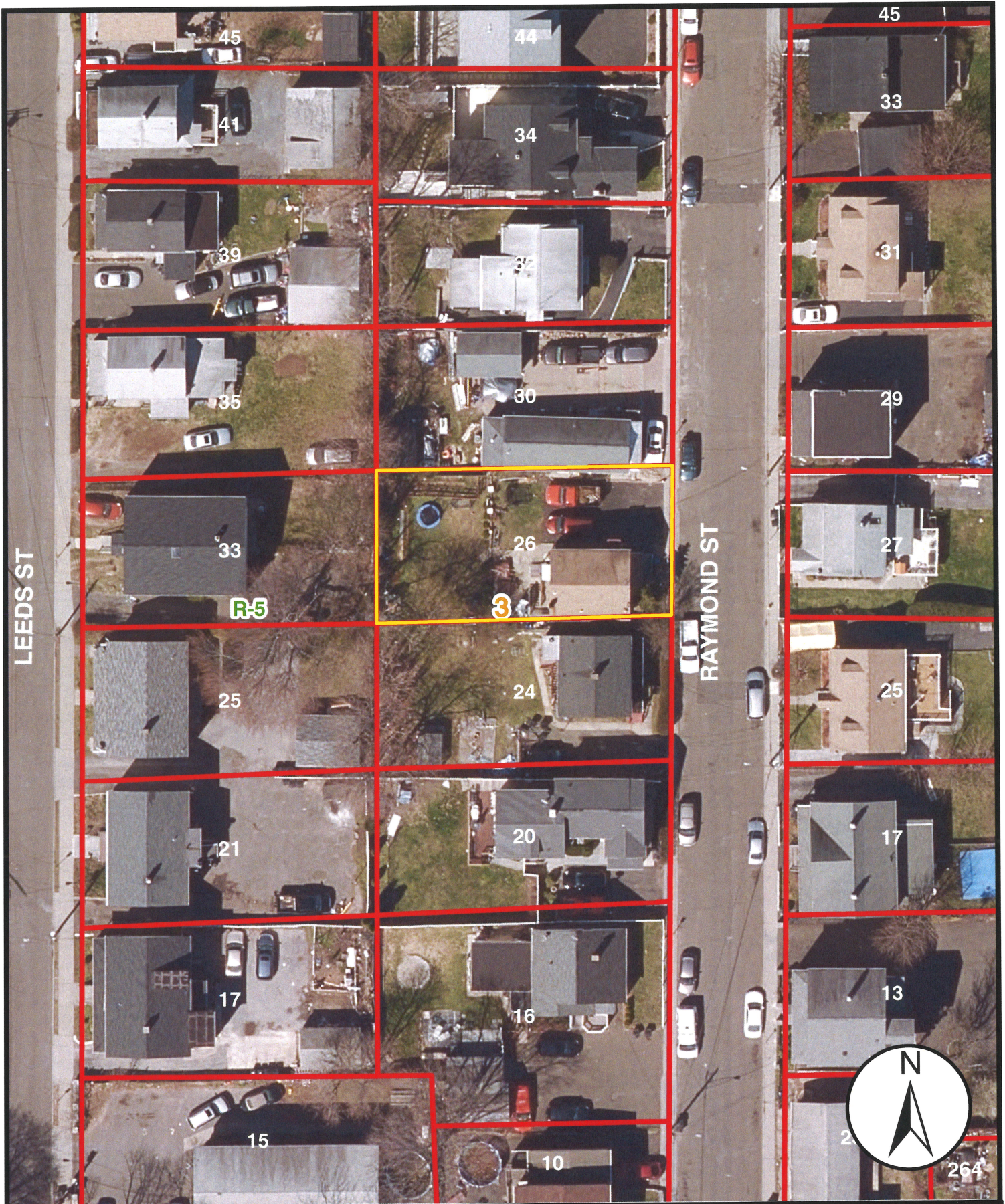
Date: _____

3/1/21

CAM Review by:

Zoning Board

ZBA



ZBA Application #007-21
26 Raymond Street

Date: 3/8/2021

