

26 Raymond Street
Stamford, CT

Information for SITE PLAN was obtained from a survey prepared July 24, 2020 by
K&A LAND SURVEYORS LLC
1244 East Main Street / Suite 100R
Stamford, Connecticut 06902 (203) 214-0244
www.KALANDSURVEYORS.COM

ZONING DATA TABLE

ZONE R-5 Block #125 In accord with Section 1415 Building Regulations

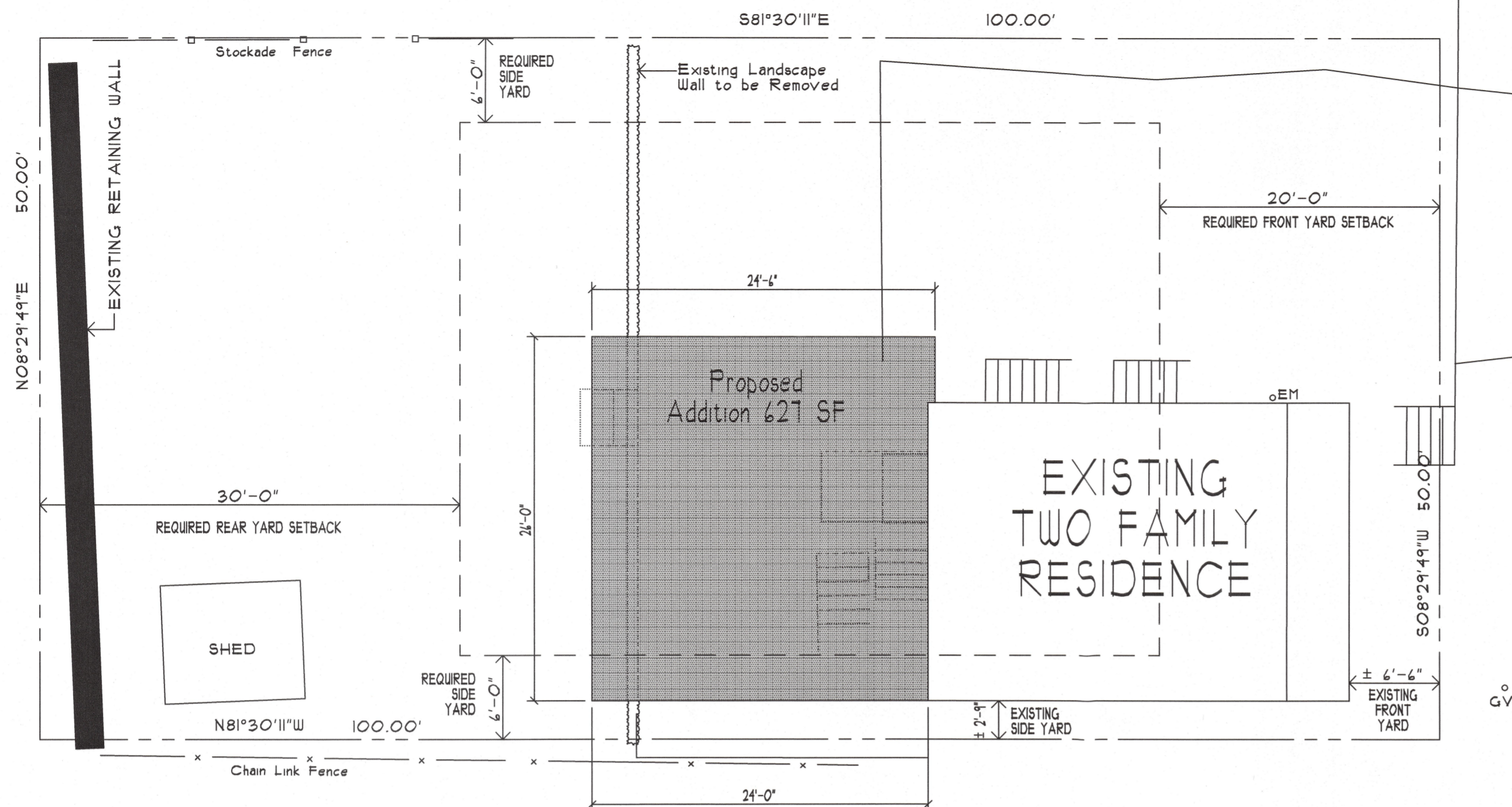
	Required/Allowed	PROPOSED
Area:	5,000 Sq.Ft.	Existing Area of Lot 3 Acres=5,000 SF
Building Height:	2 1/2 Stories / 30 Ft	Existing Two Stories 2 1/2 Stories/30 Ft
DENSITY:	Existing Two Family Built in R00	Existing Two Family With 624 SF Addition
Frontage:	50 Feet	50 Feet
Front Yard Setback:	20 Feet	4'-4" Feet Existing Building
From Street Center Line:	45 Feet	2'-4" Existing Building
Rear Yard:	30 Feet	3'-5" Feet
Side Yard:	One 4' Both 12'	South Side 2'-4" EXISTING North Side 2'-3"
Coverage:	30%=1,437 SF	Existing Shed Addition 1,355 SF 1,355/5,000 = 27%
Parking:	Existing	Existing

BUILDING CODE DATA-Type VB Construction
2015 IRC and State of Connecticut Amendments
2015 IRC Plumbing; Mechanical; Energy Codes

LIVE LOADS:
Roof: 30#/sf
Second Floor: 40#/sf
First Floor: 40#/sf

REQUIRED VARIANCES

- I. TABLE III
Appendix B: Schedule of Requirements
For Area, Height and Bulk of Buildings
SIDEYARD VARIANCE to ALLOW
ADDITION to be ALIGNED WITH EXISTING BUILDING



SITE PLAN

SCALE 1" = 10'



Left View (SOUTH ELEVATION)



Right View (NORTH ELEVATION)



Rear View (WEST ELEVATION)



Front View (EAST ELEVATION)

PARTIAL PHOTOS OF EXISTING TWO FAMILY RESIDENCE

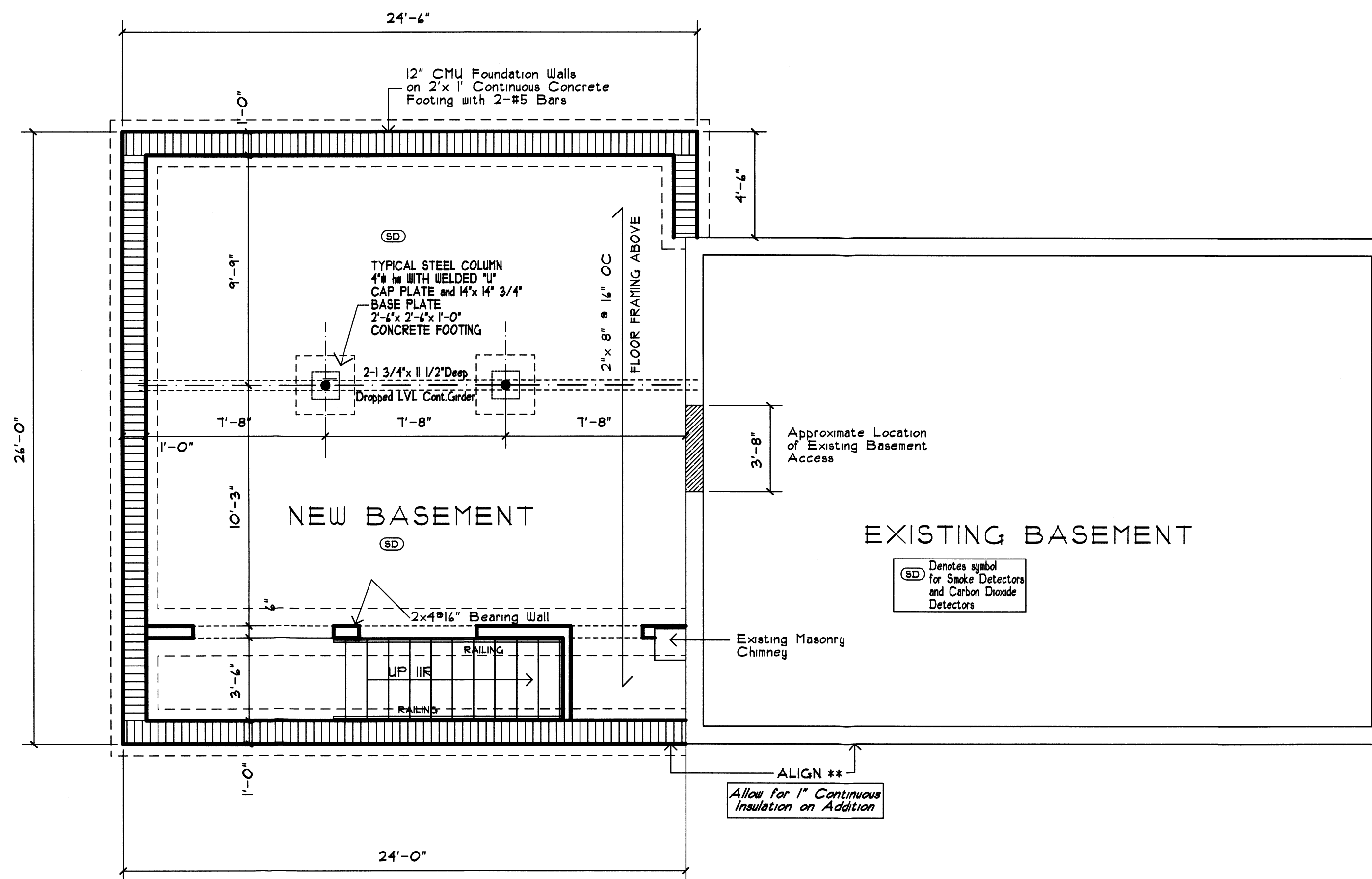
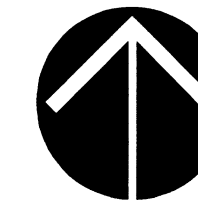
NO.	DATE	REVISION



PROJECT: ADDITION To:
VELIZ Residence
26 Raymond Street
STAMFORD, CT 06902

**SITE PLAN
EXTERIOR PHOTOS**

ISSUE DATE: February 2, 2021	PROJECT NUMBER: 04-2011
SCALE: As Shown	DWG. NO. 1
DRAWN BY: _____	
CHECKED BY: _____	
DATE PLOTTED: 2/4/2021	



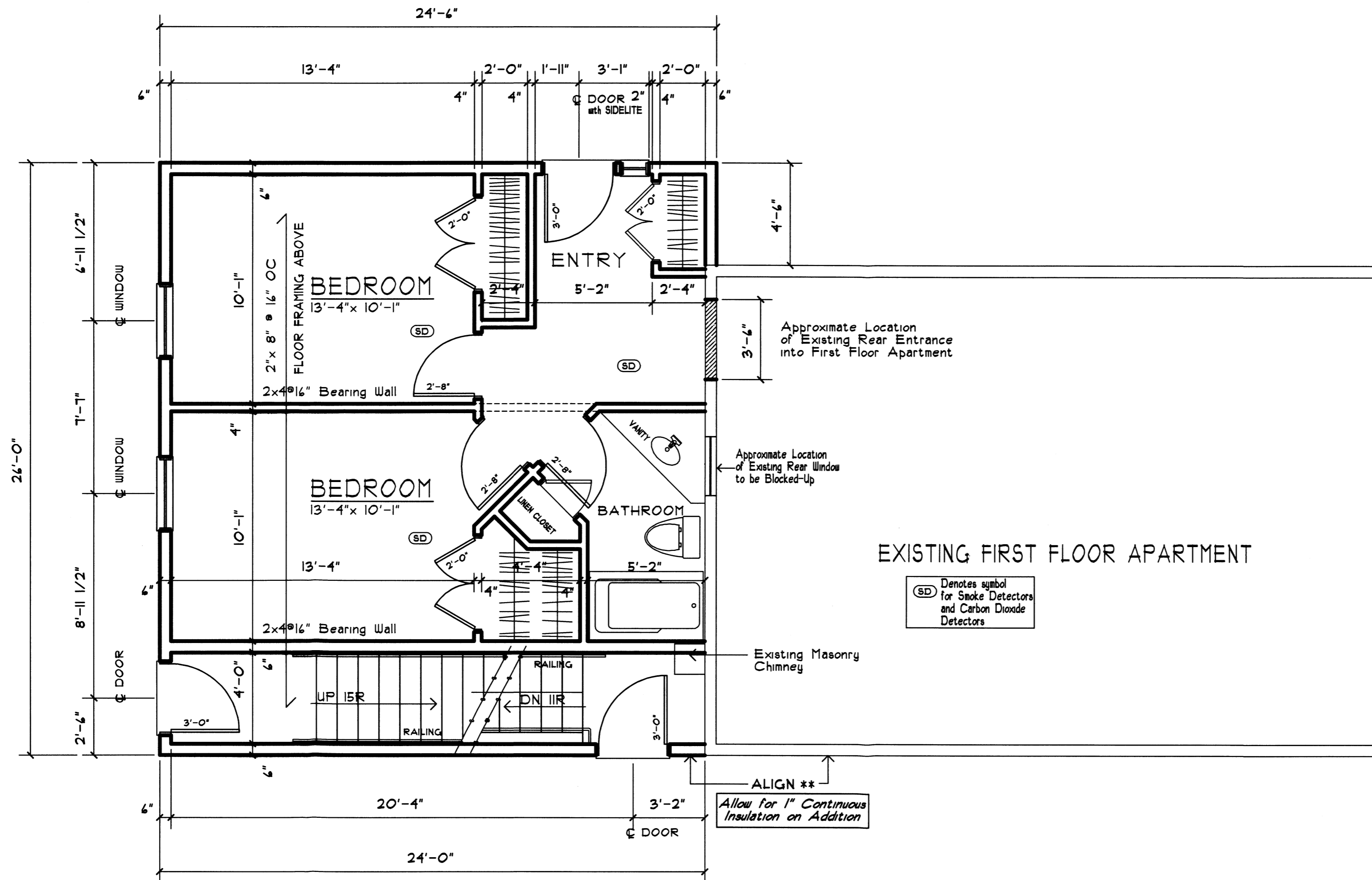
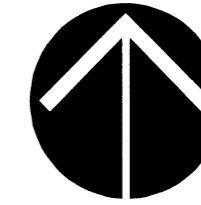
NO.	DATE	REVISION

MASCIARELLI ARCHITECTS
 91 Bradley Place
 Stamford, Connecticut 06905
 (203) 324-6330
 LBASCP@PTONLINE.NET

PROJECT: **ADDITION To:
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BASEMENT PLAN

ISSUE DATE: February 2, 2021	PROJECT NUMBER: 04-2011
SCALE: 1/4" = 1'-0"	DWC. NO. 2
DRAWN BY: _____	
CHECKED BY: _____	
DATE PLOTTED: 2/3/2021	



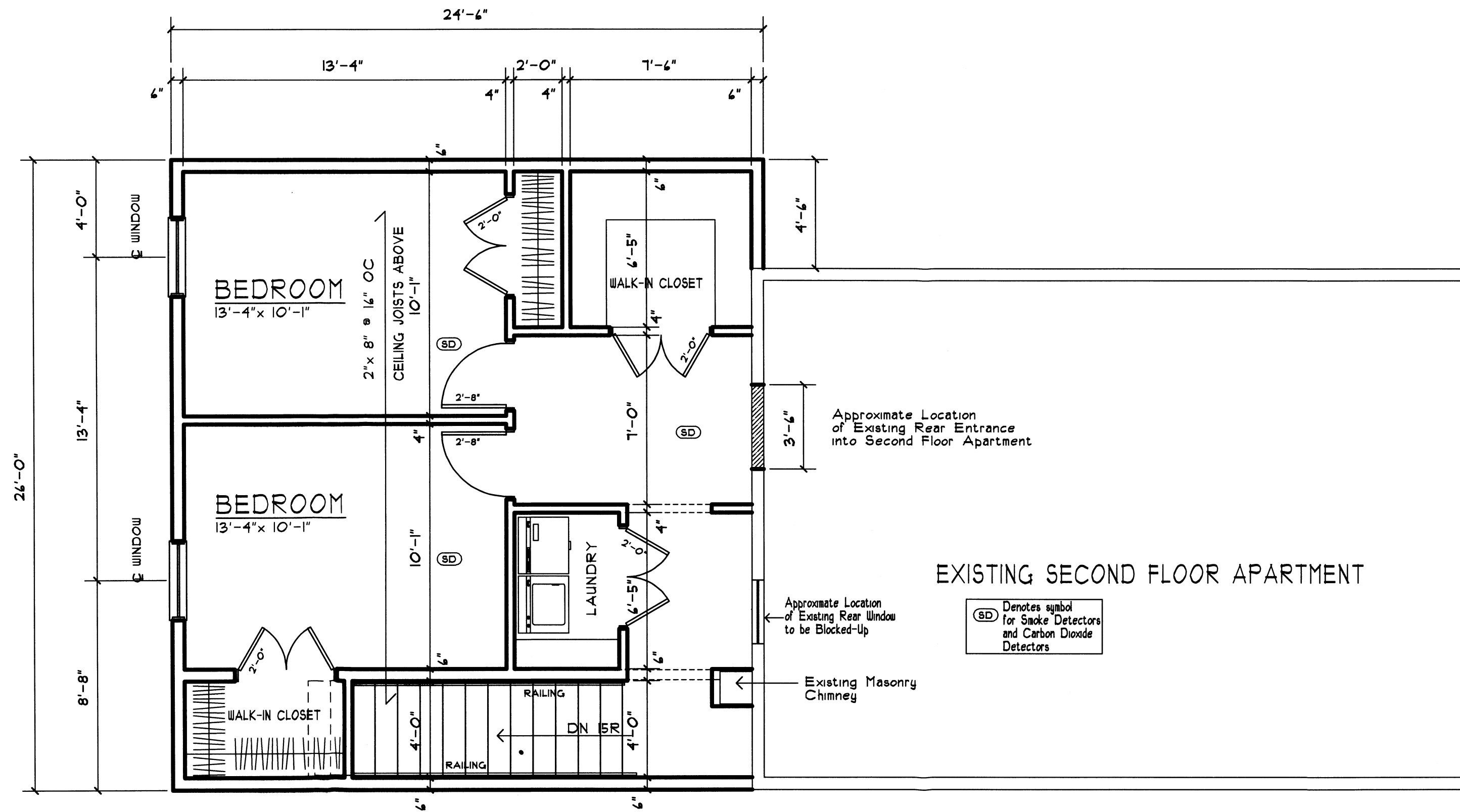
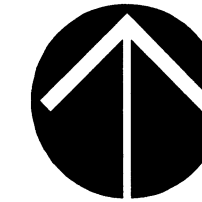
NO.	DATE	REVISION

MASCIARELLI ARCHITECTS
 31 Bradley Place
 Stamford, Connecticut 06905
 (203) 324-6330
 LBMASCI@PTOLINE.NET

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FIRST FLOOR PLAN

ISSUE DATE: February 2, 2021	PROJECT NUMBER: 04-2011
SCALE: 1/4" = 1'-0"	DWG. NO. 3
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DATE PLOTTED: 2/3/2021	



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MASCIARELLI ARCHITECTS
31 Bradley Place
Stamford, Connecticut 06905
(203) 324-6330
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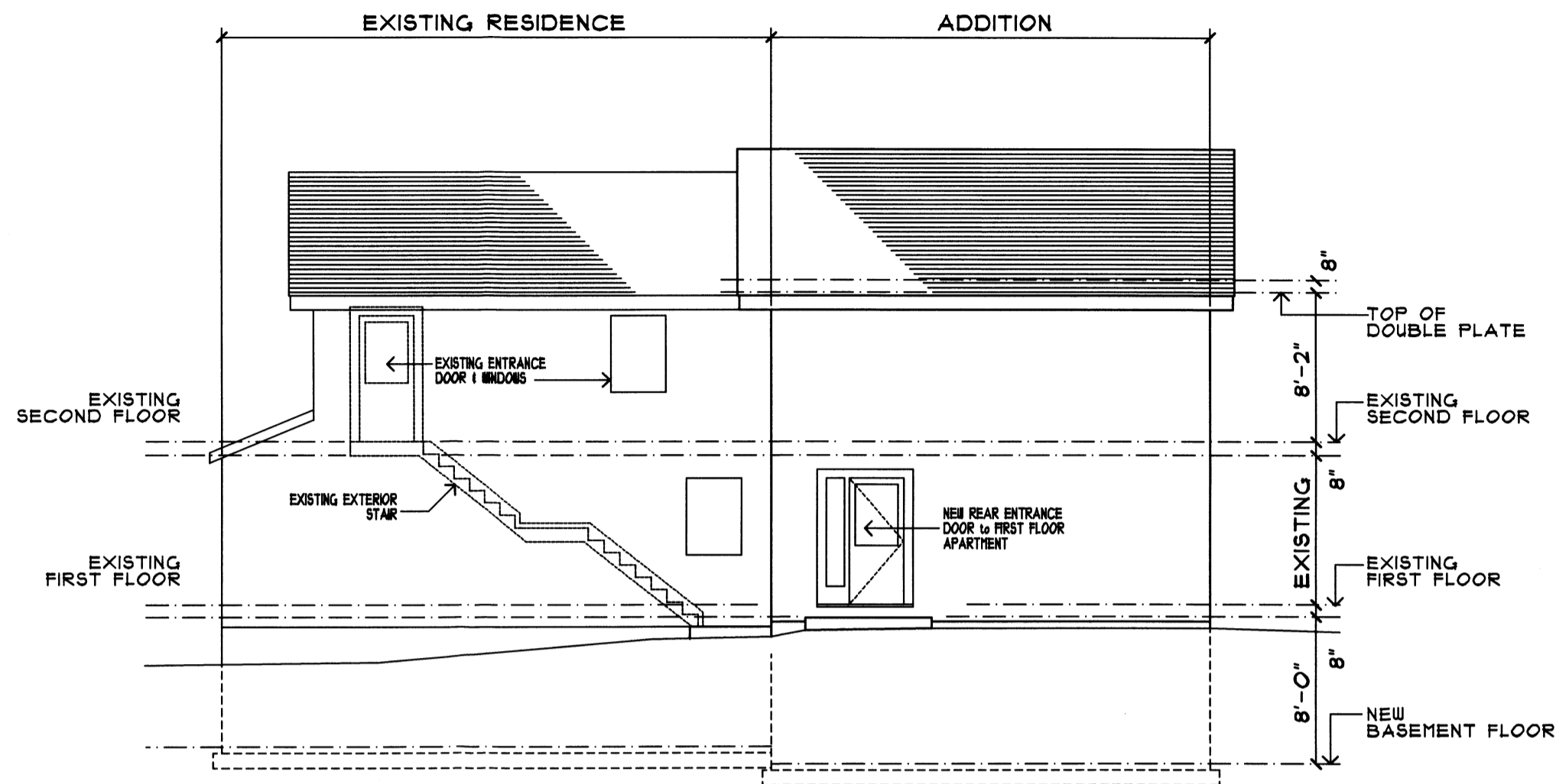
SECOND FLOOR PLAN

ISSUE DATE: February 2, 2021	PROJECT NUMBER: 04-2011
SCALE: 1/4" = 1'-0"	DWG. NO. 4
DRAWN BY: _____	
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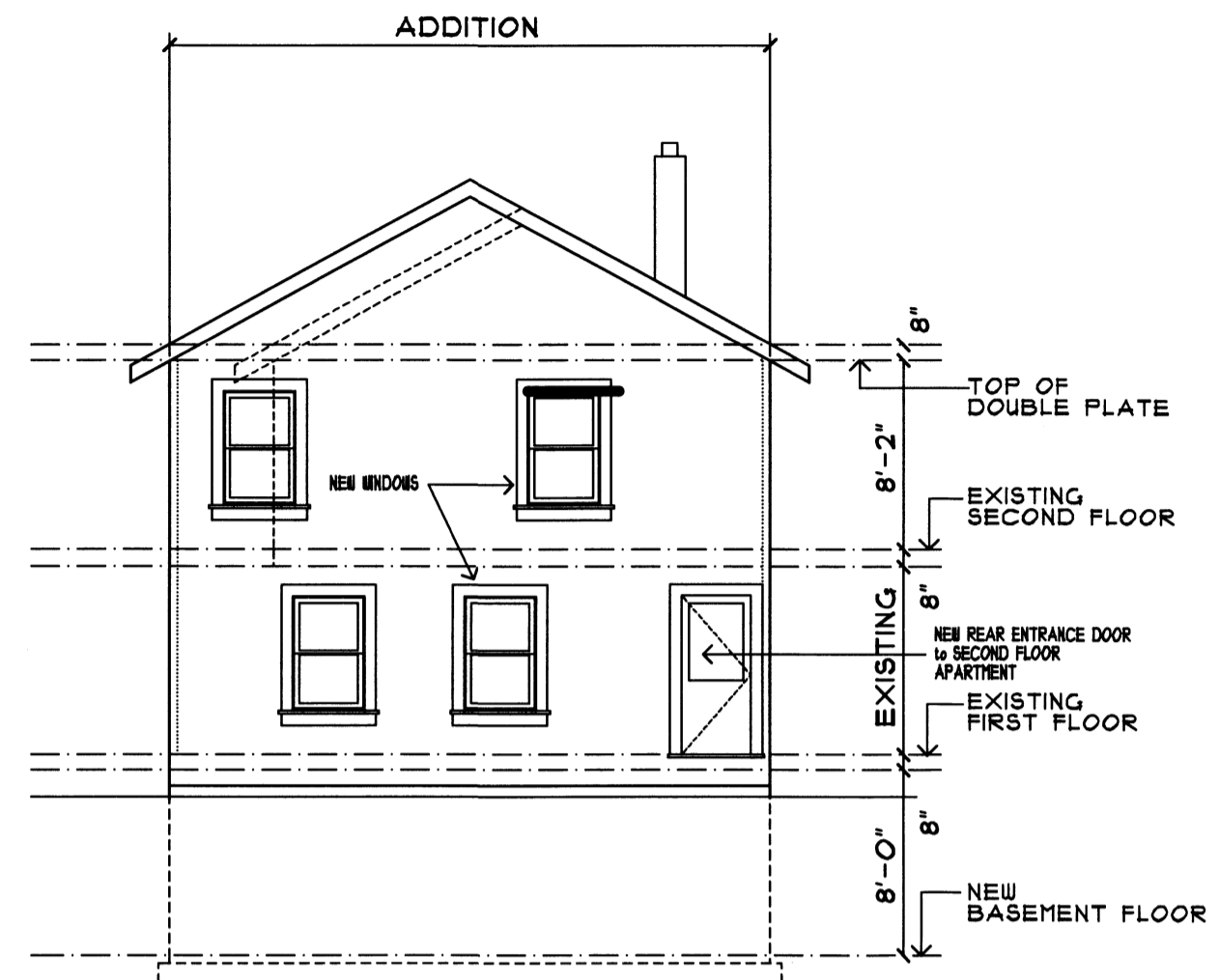
WINDOW DOOR SCHEDULE

Products of White Clad Andersen Windows are Referenced
 Ext. Grilles; Screens; High Performance Glazing.
 Provide wood trim as required to complete installation.
 All Window Flanges to be Flashed/TYVEK flashing
 OWNER SHALL VERIFY ALL WINDOW CHARACTERISTICS
 TO INSURE THAT THE CORRECT
 FINISHES, OPTIONS, HARDWARE, ETC. HAVE BEEN ORDERED
 OWNER SHALL SELECT A-SERIES GRILLE TYPE

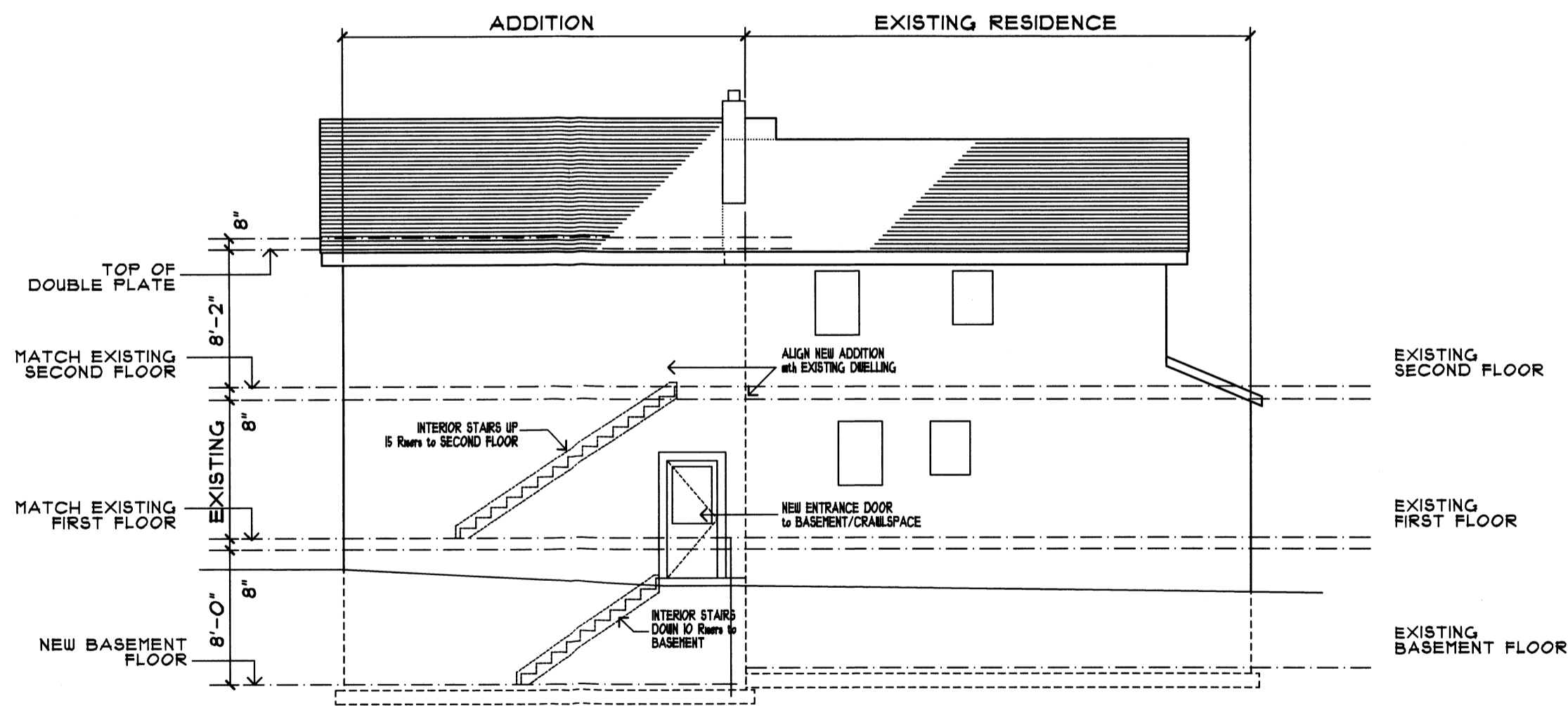
Quantity	MARK	A-Series Windows	Nominal Rough Opening		REMARKS
		Unit Number	WIDTH	HEIGHT	
4	WI	ADH3250	3'-2"	5'-0"	EGRESS WINDOW
THERMA-TRU EXTERIOR DOORS & SIDELIGHT 3'-8" x 6'-8" with 1'-2" x 4'-8" Sidelight					
3	D	Model #	CCV04020XE	OWNER TO VERIFY ALL ASPECTS OF DOORS	
1	SL	Model #	CCV100XESL		



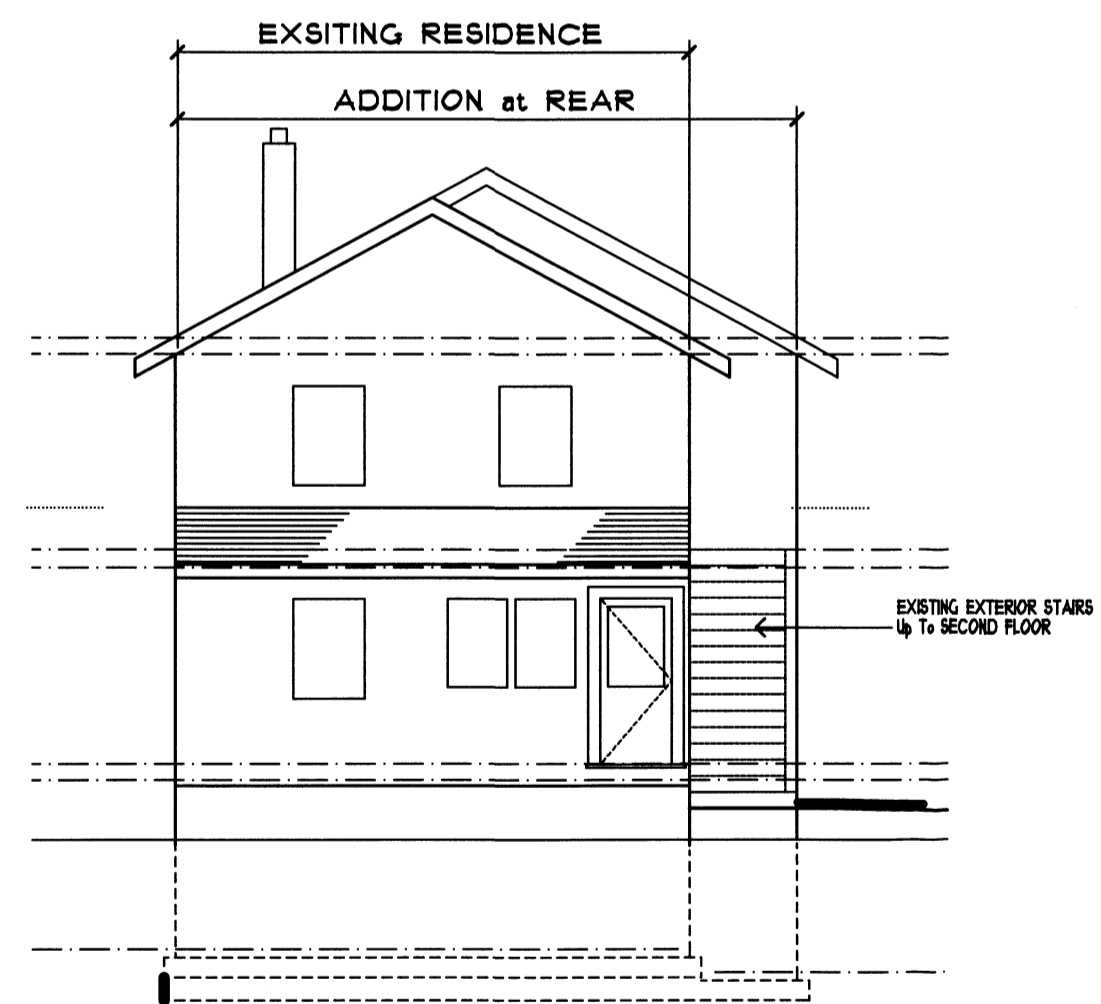
Right-Side View (NORTH ELEVATION)



Rear View (WEST ELEVATION)

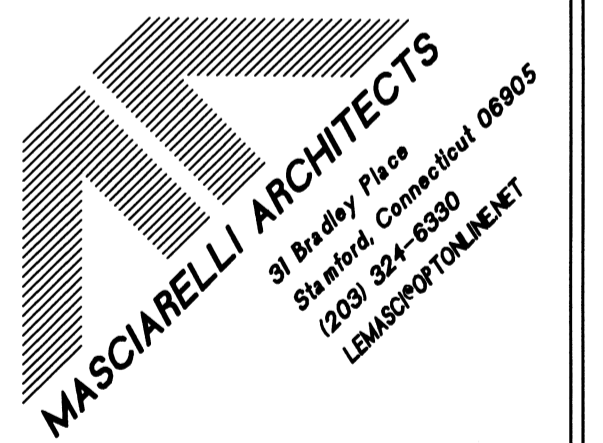


Left-Side View (SOUTH ELEVATION)



Front View (EAST ELEVATION)

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ELEVATIONS

ISSUE DATE: February 2, 2021	PROJECT NUMBER: 04-2011
SCALE: 1/8"=1'-0"	DWC. NO. 5
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CHECKED BY: _____	
DATE PLOTTED: 2/3/2021	

GENERAL NOTES

GENERAL REQUIREMENTS

- The Contract Documents are complimentary, reference made by one is as binding as if made by all.
- The Scope of Work for each specified section and trade includes all labor, material, equipment and services as well as its relationship with other sections necessary to properly complete the work.
- All work involving existing conditions or dimensions shall be verified by the Contractor in accordance with the requirements of the Contract Documents prior to starting construction on the individual items or areas involved.
- All conditions, details, dimensions, etc., shall be Field Verified.
- Any discrepancies or conflicts shall be reviewed with the Architect before proceeding.
- Demolition work shall be completed only after VERIFYING all existing structural conditions and building systems.
- Protect all existing surfaces, systems, and other building components. Cut, cap, and redress existing utilities as required to facilitate demolition work.
- Remove all debris from job site and dispose of in a proper manner.
- The drawings indicate general and typical details of construction. Framing conditions not shown shall be framed similar to typical details shown for respective material and conditions.
- Match all existing details, materials, planes, elevations, and conditions to provide for an integrated and finished building addition.
- The Contractor will be responsible for obtaining and coordinating any inspections required by local regulatory bodies as well as obtaining and paying for any necessary permits and related fees as well as any sales, consumer, use taxes and testing fees.
- REGULATORY REQUIREMENTS:** All work shall be performed in strict compliance with all city, state and federal regulations, codes and ordinances as required of the Contractor and Subcontractors.
- REFERENCE STANDARDS:** Per latest editions of codes and regulations governing area of construction and required Trade or Specification Standards.
- Workmanship, materials, equipment, systems, construction procedures and methods shall conform to industry standards.
- The Contractor shall maintain adequate barricades, warning devices and any required measures to protect workmen and the public to the extent required by regulatory bodies having jurisdiction.
- Work affecting areas/systems beyond the project shall be coordinated with the Owner prior to performing such work.
- TESTING & ADJUSTMENT:** The Contractor shall insure that proper testing and adjustment of all specified items results in proper and smooth operations before requesting Final Inspection.
- PRODUCTS:** All products and materials indicated on drawings shall comply with Specifications and/or be approved by the Architect prior to installation.
- The Contractor shall provide all necessary blocking, backing, framing, hangers or other support for all fixtures, equipment, cabinetry, furnishings and all other items requiring the same.
- Dimensions take precedence over scale.
- WARRANTY:** The Contractor shall guarantee the work against defects in materials and workmanship for a period of one (1) year after the date of Substantial Completion.

SITE WORK & FOUNDATION

- Site grading shall be completed with the intent of pitching all surface and ground water away from the existing dwelling and proposed addition.
- Complete all grubbing and removal of any tree stumps, walls in vicinity of excavation.
- Excess excavated material shall be distributed as directed by the Owner.

CARPENTRY

- The structure has been designed with consideration to the following live loads:
Roof.....30lbs./sq.ft.
First Floor.....40lbs./sq.ft.
Second Floor.....40lbs./sq.ft.
Attic Floor.....20lbs./sq.ft.
- LUMBER / All Framing lumber shall be Douglas Fir #2 E = 1.1 and F=1,250 psi.
- Framing connections shall be nailed and mechanically secured with applicable Simpson Co. framing connectors, including joist hangers, beam supports, and hurricane tie down fasteners.
- All wood in contact with concrete or masonry shall be pressure treated.
- Provide all necessary fastening to produce permanently attached work. Set sills in "Tyvek" Sill Wrap.
- Plywood sheathing: 1/2" or 5/8" APA C-D with exterior glue.
- "Tyvek Housewrap" over sheathing.
- All headers shall be 2-2" x 10" Sub-floor: 1/2" plywood C-D with exterior glue.
- Finish floor: 1/2" plywood underlayment or hardwood flooring as per Owner.
- Provide all required metal and fabric flashing together with all sealant; GE Silicone; to insure a weather tight job.
- Insulation shall be foil-faced fiberglass batts; R-19 @ walls; R-30 @ floor and ceiling joists.
- Windows & Doors: To be selected by Owner/Builder. See drawings for nominal sizes.
- All gypsum wall board, ceilings and walls shall be taped and compounded; three coat application; properly prepared to receive paint.
- FINISHES: All finish materials, components, and detailing shall be coordinated and verified by Owner and Builder.
- All new work shall be painted two coats of latex paint.

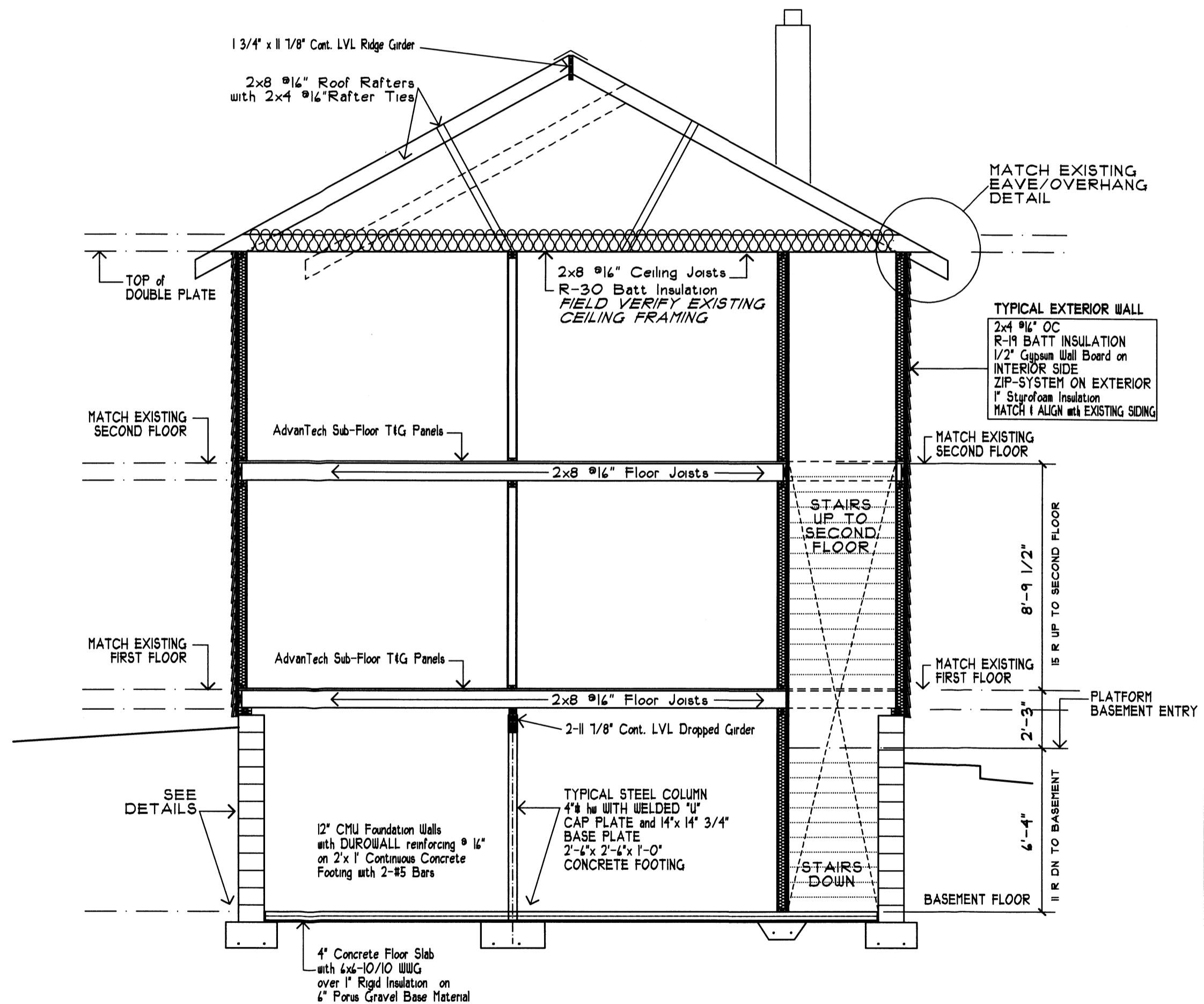
PLUMBING, HVAC, ELECTRICAL

- Owner and Builder shall coordinate all electrical and heating requirements; ie: switch/outlet locations and requirements for misc. equipment, heat, thermostats, and lighting. Locate all TV and telephone outlets. Provide and install hard-wired, battery back-up smoke detectors in accord with applicable codes.
- All HVAC requirements and methods shall be field verified by Owner/Builder.
- Floor framing shall match existing framing as noted on plans. Generally headers and girders shall be LVLs, as sized on drawings, laminated; glued & nailed continuous beams.
- COMPLY WITH ALL MANUFACTURER RECOMMENDED DETAILS & FRAMING REQUIREMENTS.

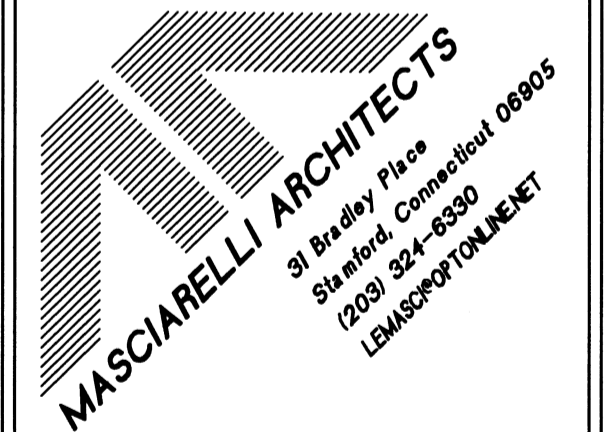
ZIP SYSTEM ALTERNATE

ZIP System will ALL joints TAPED as per manufacturer's installation instructions.
Roof Sheathing with PRECIPITEK Barrier
R3-Wall Sheathing with STORMEX Barrier
5/8" Roof and 1/2" Wall Sheathing are a combination sheathing and water-resistive barrier, installed with a proprietary seamtape.

To be used only on buildings of Type V construction and construction permitted under the IRC. It should be covered within 120 days of installation by either a code-complying exterior wall covering. It is limited to installation on buildings permitted to have non-classified roof coverings using code-complying asphalt-fiberglass shingles.



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Schematic Cross Section
General Notes

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DATE PLOTTED: 2/3/2021	