

LOCATION MAP
NOT TO SCALE

SURVEY NOTES

1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THROUGH 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPT. 26, 1996.

IT IS A ZONING LOCATION SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2. THE USE BY OTHER PERSONS OTHER THAN STATED HEREON IS NOT VALID.

2. SURVEYED PARCEL IS SUBJECT TO PRIVATE AND OR PUBLIC RESTRICTIONS AND OR EASEMENTS OF RECORD IF ANY.

3. THE PROPERTY IS LOCATED IN ZONE R5, TAX MAP#129 BLOCK #125 LOT#4.

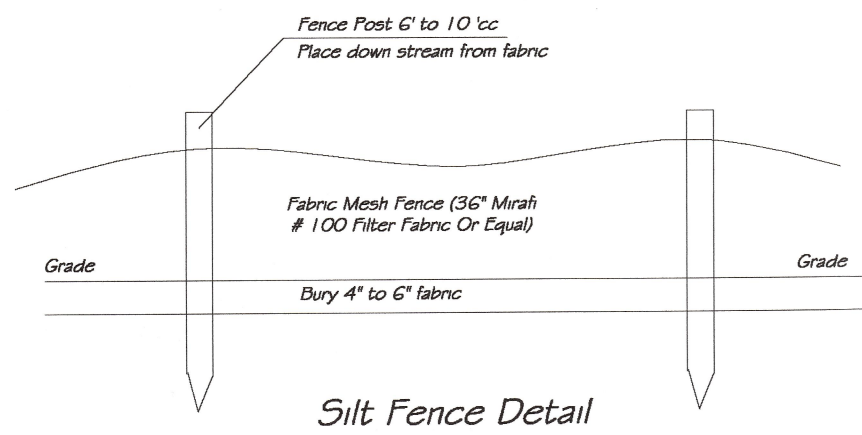
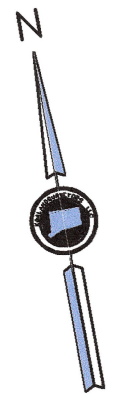
4. UNDERGROUND UTILITIES SHOWN HEREON-IF ANY ARE BASED ON THE VISIBLE STRUCTURES AT THE TIME OF THE SURVEY AND COMPILED FROM OTHER SOURCES AND THESE LOCATIONS ARE APPROXIMATE. ADDITIONAL UTILITIES ABANDONED OR IN USE MAY EXIST. PRIOR TO ANY EXCAVATION OR CONSTRUCTION CONTACT "CALL BEFORE YOU DIG": 1-800-922-4455.

UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS IF ANY, ARE NOT DEPICTED HEREON.

DISTANCES FROM THE BUILDING TO THE PROPERTY LINE ARE NOT TO BE USED FOR BOUNDARY DETERMINATION.

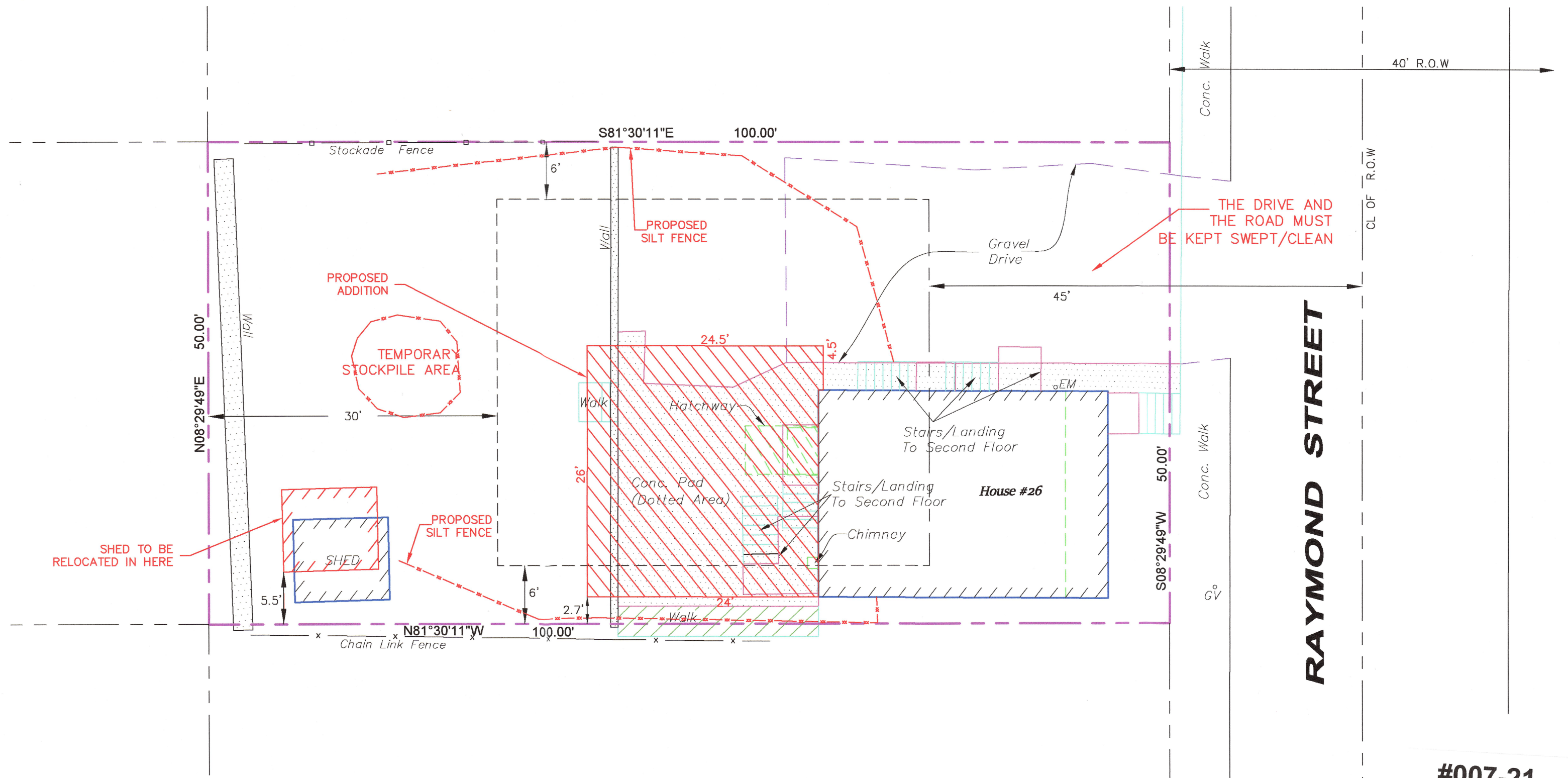
ALL SETBACKS AND ZONING REQUIREMENTS MUST BE CONFIRMED WITH THE PLANING AND ZONING OFFICE PRIOR TO ANY DESIGN.

117 SQ. OF NEW PROPOSED IMPERVIOUS AREA



Soil Erosion & Sediment Control Notes:

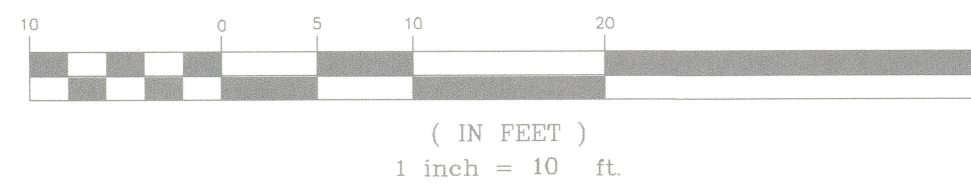
- All disturbed areas not covered with pavement or buildings shall be topsoiled, fertilized and seeded in accordance with the guidelines of the State of Connecticut for Soil Erosion and Sediment Control. Use mix # 1 or equal.
- All soil and erosion control measures to be maintained during construction
- All measures to remain intact until all disturbed areas are stabilized.
- All Disturbed areas which are left untouched for 30 days shall temporarily seeded with annual rye grass to prevent excess erosion.



ZONE R-5
LOT AREA: 5,000 SQ. FT 0.11 ACRES

BUILDING/LOT RATIO COVERAGE :	MAX. ALLOWED	EXISTING	PROPOSED
	30%	14.60%	27.1%

GRAPHIC SCALE



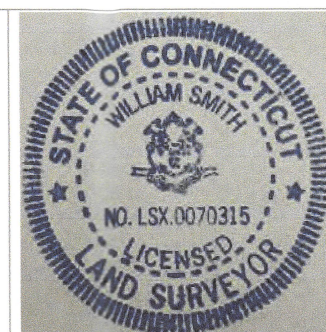
LEGEND:

- Iron Pin/Pipe (Found)
- OEM Electric Meter
- Mail Box
- ORL Roof Leader
- OGM Gas Meter
- ⊗ Tree
- ☆ Light Post
- o/h— Overhead Wires
- Stockade Fence
- x Chain Link Fence
- Hedge/Edge Of Bush

#007-21

DATE: 2/01/2021
SCALE: 1"=10'
SHEET:
DWG NO:

ZONING LOCATION SURVEY
26 RAYMOND STREET
STAMFORD, CONNECTICUT
PREPARED FOR JOSE VELIZ



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

W. Smith

WILLIAM SMITH L.S.#70315

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