

LEGEND:-

B. BIRCH
B.B. BLACK BIRCH
BE. BEECH
HEM. HEMLOCK
MP. MAPLE
O. OAK
P. PINE
TUL. TULIP
WHTOAK. WHITE OAK
YB. YELLOW BIRCH
C.B. CATCH BASIN
P.V.C. POLY-VINYL CHLORIDE PIPE

① DRAINAGE MANHOLE
-198- CONTOUR LINE
STONE WALL
○ TREE

REGULATORY REQUIREMENTS AND GENERAL NOTES

- THE CITY OF STAMFORD REQUIRES ALL UNDERGROUND PIPES AND DRAINAGE STRUCTURES BE LOCATED BOTH VERTICALLY AND HORIZONTALLY BY FIELD SURVEY PRIOR TO BACKFILLING. THIS WORK MUST BE PERFORMED BY A PROFESSIONAL ENGINEER OR LAND SURVEYOR REGISTERED IN THE STATE OF CONNECTICUT. THE ONLY EXCEPTIONS TO THIS ARE FOOTING DRAINS, WHERE ONLY THE COLLECTION POINT(S) CONNECTING TO THE PRIMARY SITE DRAINAGE SYSTEM MUST BE LOCATED. A LETTER VERIFYING THAT THE DRAINAGE INSTALLATIONS ARE IN COMPLIANCE WITH APPROVED PLANS, MUST BE SUBMITTED TO THE BUILDING DEPARTMENT ALONG WITH A SITE "AS-BUILT" PLAN BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED. THE LETTER AND PLAN MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF CONNECTICUT. S.E. MINOR & CO., INC. REQUIRES A MINIMUM OF 3 WORKING DAYS PRIOR NOTICE TO SCHEDULE THESE DRAINAGE VERIFICATION SURVEYS.
- UNDERGROUND UTILITIES, FACILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM SURFACE INDICATIONS AND RECORD SOURCES. THE LOCATIONS OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. ADDITIONALLY, THERE MAY BE OTHER UNDERGROUND UTILITIES THE EXISTENCE OF WHICH IS PRESENTLY UNKNOWN. ANY PARTY UTILIZING THE UTILITY INFORMATION AND DATA DEPICTED ON THIS SURVEY SHALL CALL "CALL BEFORE YOU DIG" AT 800-922-4455 A MINIMUM OF FORTY EIGHT (48) HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES.
- ANY ENCOUNTERED DRAIN, PIPE, GRAVEL TRENCH, BOX CULVERT, ETC. WILL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER WHO WILL DETERMINE EITHER THE CORRECT WAY TO CONNECT THE DRAIN TO THE PROPOSED SYSTEM OR THE CORRECT PIPE ABANDONMENT PROCEDURE. THE PROJECT ENGINEER SHALL NOTIFY ALL NECESSARY AUTHORITIES UPON FINDING OF ANY DRAINS.

SEPTIC NOTE:

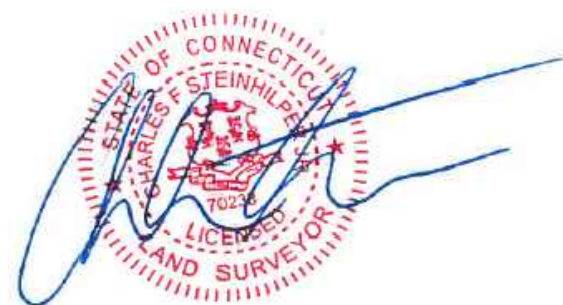
- THIS PROPOSAL MAY INCLUDE THE DESIGN OF INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEM(S) FOR THE SUBJECT PROPERTY AND/OR EACH OF THE INDIVIDUAL LOTS. THE PROPOSED DESIGN(S) MUST BE APPROVED BY THE STAMFORD HEALTH DEPARTMENT. THE REQUIRED "PERMIT TO CONSTRUCT" MUST BE ISSUED FOR EACH LOT BY THE STAMFORD HEALTH DEPARTMENT PRIOR TO ANY CONSTRUCTION OF THE PROPOSED SEPTIC SYSTEMS. THE CITY OF STAMFORD ALSO REQUIRES ALL UNDERGROUND SEPTIC SYSTEM PIPES, STRUCTURES AND COMPONENTS BE LOCATED BOTH VERTICALLY AND HORIZONTALLY BY FIELD SURVEY PRIOR TO BACKFILLING. THIS WORK MUST BE PERFORMED UNDER THE INSPECTION OF A PROFESSIONAL ENGINEER AND LOCATED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CONNECTICUT OR THEIR DESIGNEE. ALL WORK MUST BE INSPECTED BY A CITY HEALTH DEPARTMENT INSPECTOR AND THE PROJECT ENGINEER OR THEIR DESIGNEE. A LETTER VERIFYING THAT THE SEPTIC INSTALLATIONS ARE IN COMPLIANCE WITH THE APPROVED PLANS AND PERMIT CONDITIONS MUST BE SUBMITTED TO THE STAMFORD HEALTH DEPARTMENT ALONG WITH A SEPTIC OR SITE "AS-BUILT" PLAN FOR EACH LOT BEFORE A "PERMIT TO DISCHARGE" WILL BE ISSUED. THE LETTER MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER, AND THE "AS-BUILT" PLAN MUST BE SIGNED BY A PROFESSIONAL ENGINEER AND A LAND SURVEYOR REGISTERED IN THE STATE OF CONNECTICUT. S.E. MINOR & CO., INC. REQUIRES A MINIMUM OF 3 WORKING DAYS PRIOR NOTICE TO SCHEDULE THESE SEPTIC VERIFICATION SURVEYS.

UTILITY NOTE:

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NOTES:

- THE PURPOSE OF THIS PARTIAL TOPOGRAPHIC MAP IS TO DETERMINE THE VIABILITY OF BUILDING A RESIDENCE. IT IS NOT TO BE CONSTRUED AS A COMPLETE TOPOGRAPHIC MAP OF THE PROPERTY THAT MAY BE REQUIRED FOR PERMITTING.
- PROPERTY IS IN ZONE X, AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) No. 090015 383 F. EFFECTIVE: JUNE 18, 2010.
- THE TOPOGRAPHIC INFORMATION DEPICTED HEREON WAS ACQUIRED BY FIELD SURVEY ON MARCH 15, 2024.
- REFERENCE IS MADE TO MAP No. 11179, 11180, 11480 AND 11720 ON FILE IN THE STAMFORD LAND RECORDS.
- THE OPEN SPACE DEPICTED ON THIS PLAN IS TAKEN FROM PLANS REFERENCED ABOVE.
- REFERENCE IS MADE TO CITY OF STAMFORD TAX ASSESSOR MAP 22 LOT 004-0002, MAP 22, BLOCK 400 LOT 13.
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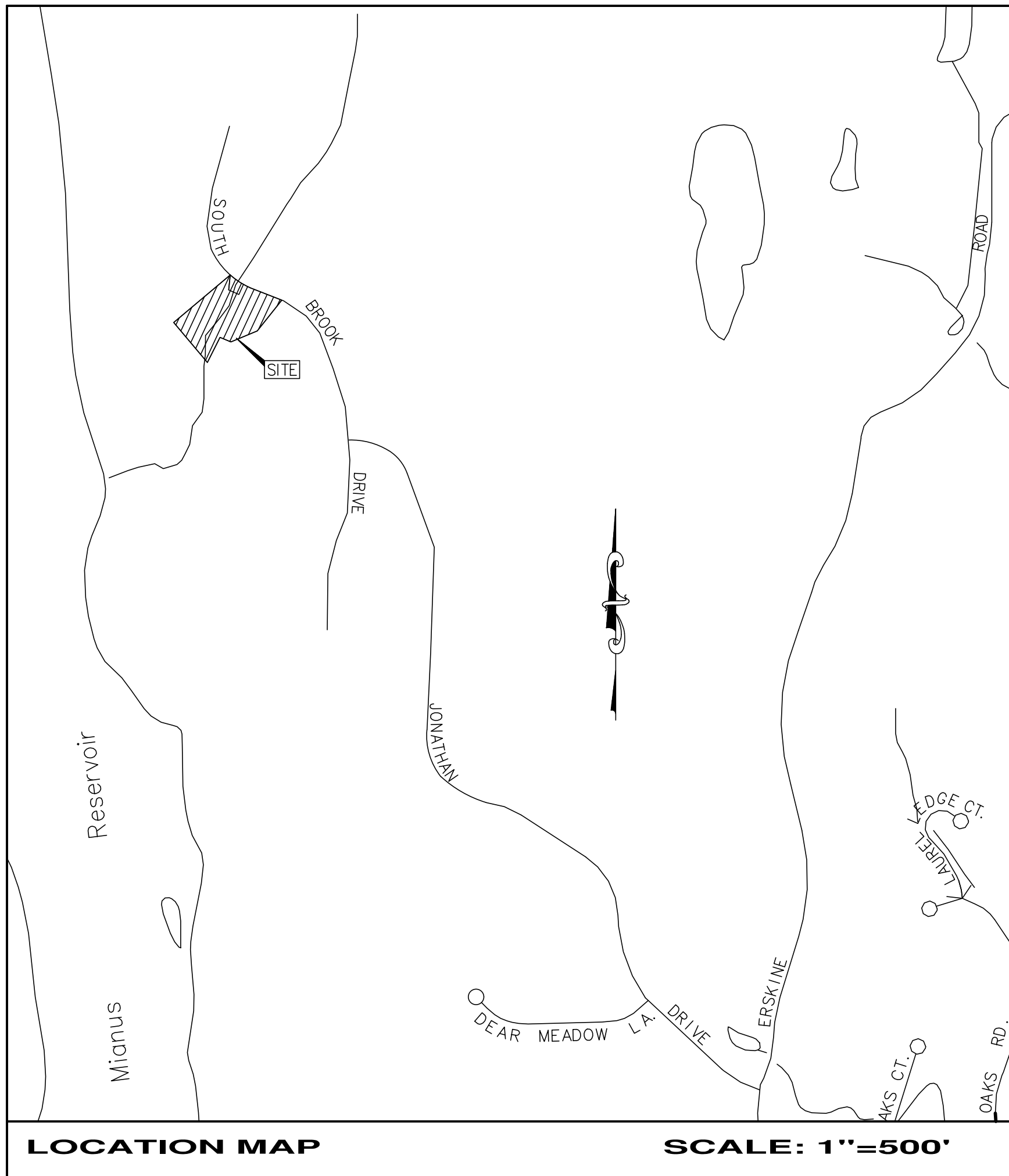


PROPOSED SITE DEVELOPMENT PLAN ON PROPERTY OF

ADAM AGLIETTI

13 SOUTH BROOK DRIVE STAMFORD , CONNECTICUT JULY 23, 2024

TAX ACCOUNT No. 004-0002



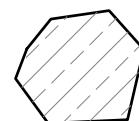
| MAP | BLOCK | LOT |
|-----|-------|-----|
| 22 | 400 | 13 |

ZONE: RA-3
AREA = 88,304 SQ. FT. / 2.027 ACRES

LEGEND PROPOSED:

PROPOSED DRAIN BASIN
STORM DRAIN MH.
RETAINING WALL
PROPOSED CONTOURS
PROPOSED SPOT GRADES
PROPOSED SWALE
DEEP TEST PIT
CONDUCTIVITY TEST
PERCOLATION TEST
PROPOSED BUILDING ACCESS
GEOTHERMAL WELL HEAD
PROPOSED PATIO
PROPOSED BUILDING
PROPOSED STORM DRAINAGE MANAGEMENT SYSTEM
CONSTRUCTION ENTRANCE
SILT FENCE-GEOTEXTILE
CONSTRUCTION FENCE
TREE PROTECTION
STOCKPILE AREA
INLET PROTECTION

| PR. BUILDING COVERAGE : | | | |
|-------------------------|---------|-------|-------------------------|
| RA-3 | | | |
| 88,304 | X 0.10 | = | 8,830 SQ. FT. |
| RESIDENCE | = | 2,793 | SQ. FT. |
| 8,830 | - 2,793 | = | 6,037 SQ. FT. REMAINING |



WETLANDS AS CLASSIFIED BY JIM M. MINOR, A CERTIFIED SOIL SCIENTIST, JMM WETLAND CONSULTING SERVICES, JAN. 4, 2024.

S.E. MINOR & CO., INC. TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE WETLAND BOUNDARY AS DETERMINED BY THE SOIL SCIENTIST.

| BROOK AREA | 6,210 SQ. FT. | 0.143 ACRES |
|------------------------------------|----------------|-------------|
| WETLANDS AREA | 23,837 SQ. FT. | 0.547 ACRES |
| UPLAND REVIEW AREA | 41,350 SQ. FT. | 0.949 ACRES |
| AREA OUTSIDE OF UPLAND REVIEW AREA | 16,907 SQ. FT. | 0.388 ACRES |
| PROPOSED AREA TO BE DISTURBED | 21,000 SQ. FT. | 0.482 ACRES |

DRAWING LIST

| SHEET NO. | DRAWING TITLE |
|-----------|--------------------------|
| 1 | COVER SHEET |
| 2 | ZONING LOCATION SURVEY |
| 3 | EXISTING CONDITIONS |
| 4 | PROPOSED SITE PLAN |
| 5 | EROSION CONTROL PLAN |
| 6 | DETAILS AND NOTES |
| 7 | PROPOSED SEPTIC PLAN |
| 8 | SEPTIC DETAILS AND NOTES |



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SHEET No

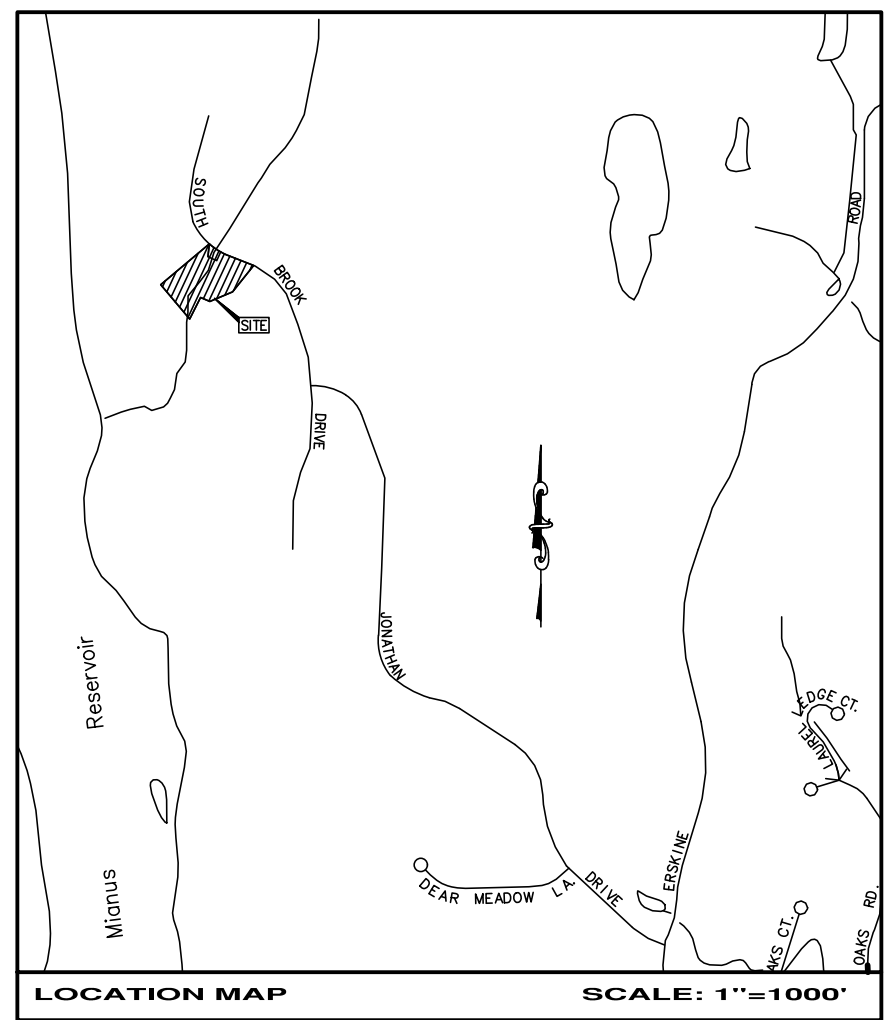
1

SHEET 1 OF 8



ZONING TABLE

| | EXISTING | PROPOSED | REQUIRED |
|-------------------|----------------|----------------|--------------------|
| ZONE: | RA-3 | RA-3 | RA-3 |
| LOT AREA | 88,304 SQ. FT. | 88,304 SQ. FT. | 130,680 SQ. FT. |
| BUILDING COVERAGE | 0% | 4.82% | ALL BUILDINGS: 20% |
| FRONTAGE | 259 FT | 259 FT | 200 FT |
| FRONT YARD | N/A | 69.7 FT | 60 FT |
| REAR YARD | N/A | 224.5 FT | 70 FT |
| SIDE YARD | N/A | 36 FT , 36 FT | 35 FT EACH SIDE |



MAP BLOCK LOT
22 400 13

NOTES:

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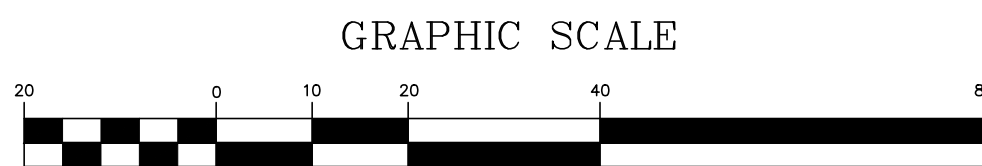
ZONING LOCATION RE-SURVEY IN ACCORDANCE WITH A CLASS A-2 SURVEY AS SET FORTH IN IN THE STATE OF CONNECTICUT REGULATIONS SECTION 20-300b-1 THROUGH SECTION 20-300b-20

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS "SUBSTANTIALLY CORRECT" AS NOTED HEREON.



BY: _____ FOR: _____

ZONE: RA-3
AREA = 88,304 SQ. FT. / 2.027 ACRES



IF SCALING FROM THIS PLAN, VERIFY SCALE WITH THE GRAPHIC SCALE PROVIDED ABOVE.

| | | |
|-------------------------|---------|---------------------------|
| PR. BUILDING COVERAGE : | | |
| RA-3 | | |
| 88,304 | X 0.10 | = 8,830 SQ. FT. |
| | | |
| RESIDENCE | = | 2,984 SQ. FT. |
| 8,830 | - 2,984 | = 5,846 SQ. FT. REMAINING |



WETLANDS AS FLAGGED BY JIM M. MINOR & CO., INC. TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE WETLAND BOUNDARY AS DETERMINED BY THE SOIL SCIENTIST.
JAN. 4, 2024

| | | |
|------------------------------------|----------------|-------------|
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ZONING LOCATION SURVEY
ON PROPERTY OF
ADAM AGLIETTI
13 SOUTH BROOK DRIVE
STAMFORD, CONN.
TAX ACCOUNT No. 004-0002

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SHEET No

2

SHEET 2 OF 8

PRINTS NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL.

- Standard City of Stamford Notes:**
1. A Street Opening Permit is required for all work within the City of Stamford Right-of-Way.
 2. All work within the City of Stamford Right-of-Way shall be constructed to City of Stamford requirements, the State of Connecticut Basic Building Code and the Connecticut Guidelines for Soil Erosion and Sedimentation Control.
 3. The Engineering Bureau of the City of Stamford shall be notified three days prior to any commencement of construction or work within the City of Stamford Right-of-Way.
 4. Trees within the City of Stamford Right-of-Way to be removed shall be posted in accordance with the Tree Ordinance.
 5. Prior to any excavation the Contractor and/or Applicant/Owner, in accordance with Public Act 77-350, shall be required to contact "Call Before You Dig" at 1-800-922-4455 for mark out of underground utilities.
 6. All retaining walls three (3) feet or higher measured from finished grade at the bottom of the wall to finished grade at the top of the wall and retaining walls supporting a surcharge or impounding Class I, II or III-A liquids are required to have a Building Permit. Retaining walls shall be designed and inspected during construction by a Professional Engineer licensed in the State of Connecticut. Prior to the issuance of a Certificate of Occupancy, retaining walls shall be certified by a Professional Engineer licensed in the State of Connecticut.
 7. Certification will be required by a professional engineer licensed in the State of Connecticut that work has been completed in compliance with the approved drawings.
 8. A Final Improvement Location Survey will be required by a professional land surveyor licensed in the State of Connecticut.
 9. Connection to a city-owned storm sewer shall require the Waiver Covering Storm Sewer Connection to be filed with the City of Stamford Engineering Bureau.
 10. Granite block or other decorative stone or brick, depressed curb, driveway apron and curbing within the City of Stamford Right-of-Way shall require the Waiver Covering Granite Block Depressed Curb and Driveway Aprons to be filed with the City of Stamford Engineering Bureau.
 11. Sediment and erosion controls shall be maintained and repaired as necessary throughout construction until the site is stabilized. At the completion of construction, remove sediment and erosion controls once the site is stable.
 12. To obtain a Certificate of Occupancy, submittal must include all items outlined in the Checklist for Certificate of Occupancy (Appendix D of the City of Stamford Drainage Manual).
 13. Reference EPB Permit #, Zoning Permit #, Zoning Board of Appeals #, Subdivision #, if applicable

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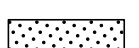






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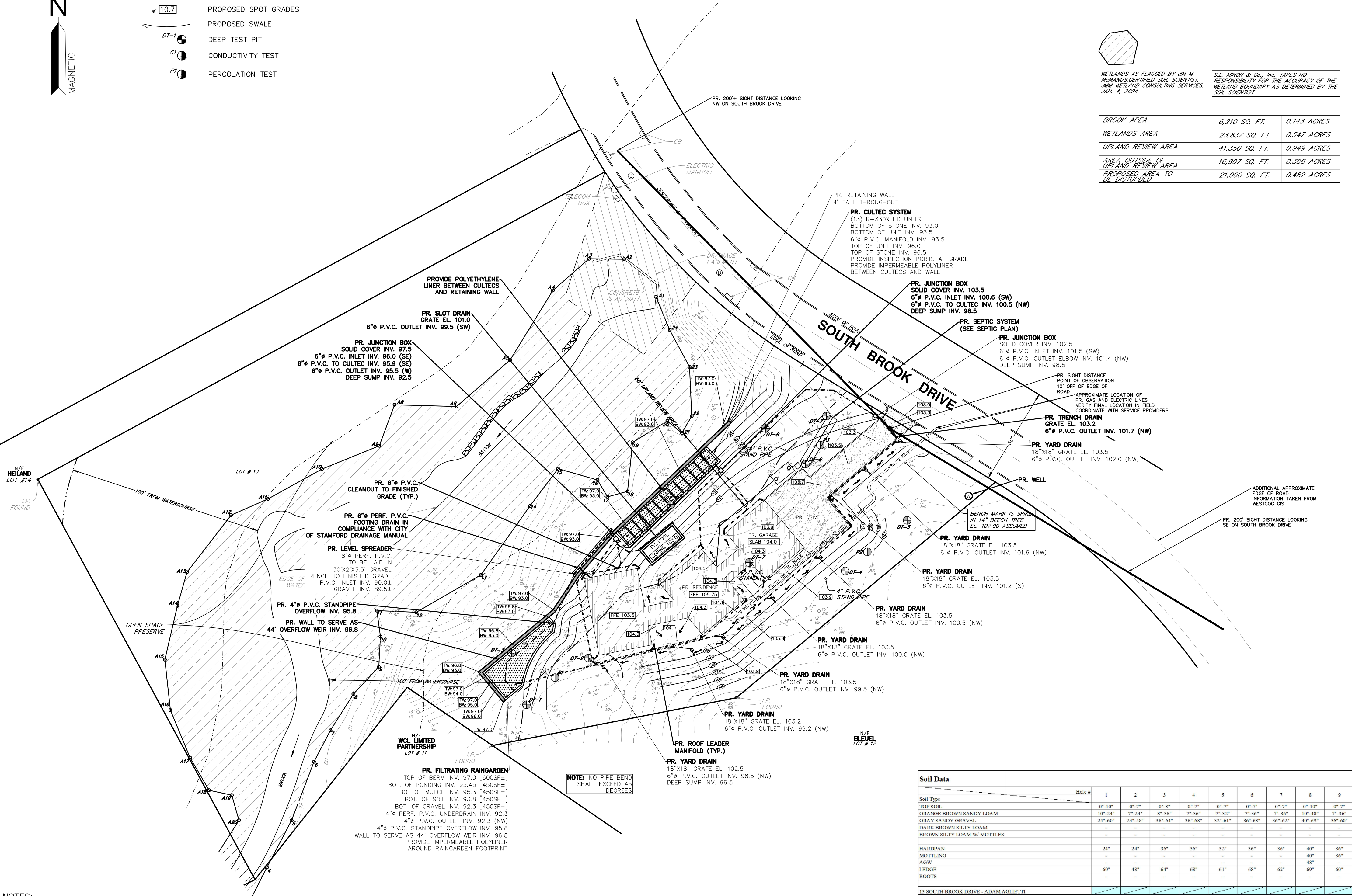
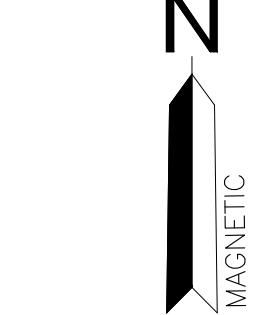
BY:  FOR:

S. E. MINOR & CO., INC. ENGINEERS & LAND SURVEYORS
33 WEST ELM STREET GREENWICH, CONN. 06830

DATE: JULY 2, 2024

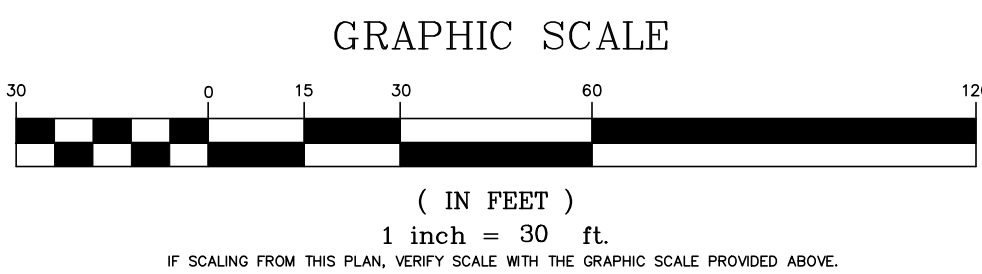
LEGEND PROPOSED:

- | | | | |
|---|----------------------|---|---|
|  | PROPOSED DRAIN BASIN |  | PROPOSED PATIO |
|  | STORM DRAIN MH. |  | PROPOSED BUILDING |
|  | RETAINING WALL |  | PROPOSED STORM DRAINAGE MANAGEMENT SYSTEM |
|  | PROPOSED CONTOURS | | |
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|  | PROPOSED SWALE | | |
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(IN FEET)
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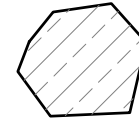
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AREA = 88,304 SQ. FT. / 2.027 ACRES

SCALE: 1 IN. = 30 FT.

PR. BUILDING COVERAGE :

RA-3
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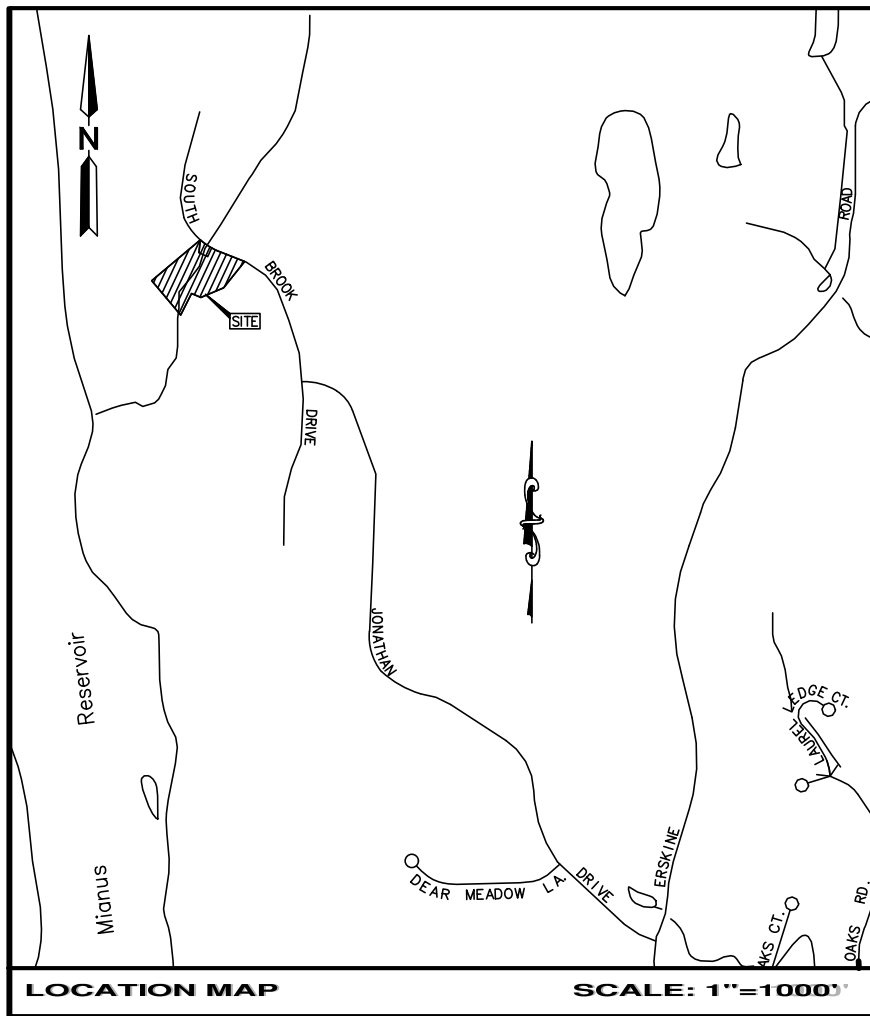
RESIDENCE = 3,207 SQ. FT.
8,830 - 3,207 = 5,623 SQ. FT. REMAINING



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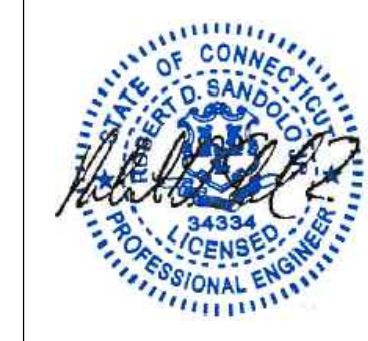
MAP BLOCK LOT
22 400 13

DRAINAGE SYSTEM - GENERAL CONSTRUCTION NOTES:

1. INSTALL THE PROPOSED DRAINAGE SYSTEM TO THE LINES, GRADES, ELEVATIONS, AND OTHER DIMENSIONS SHOWN, WHERE NOT SPECIFICALLY DIMENSIONED, FIELD STAKING IN REFERENCE TO ESTABLISHED POINTS MAY BE REQUIRED TO INSURE ACCURATE PLACEMENT OF COMPONENTS. IN SUCH CASES, THE INSTALLER SHALL ENLIST THE SERVICES OF THE PROJECT LAND SURVEYOR.
2. ALL ASPECTS OF THE DRAINAGE SYSTEM REQUIRE INSPECTION AND FINAL APPROVAL BY THE **ENGINEER OF RECORD**. ANY ALTERNATIVE UNDERTAKEN IN THIS REGARD, SHALL IN ALL MANNER, RENDER THESE DOCUMENTS IMMEDIATELY VOID.
3. AN AS BUILT DRAWING OF THE COMPLETED DRAINAGE SYSTEM SHALL BE SUBMITTED TO THE CITY OF STAMFORD AS PART OF FINAL APPROVAL. BY THE ENGINEER AND ACCEPTANCE BY REGULATING AUTHORITIES. FIELD LAYOUT, INSPECTION, POST INSTALLATION ANALYSIS, DATA COLLECTION AND AS BUILT DRAWING DEVELOPMENT ARE SEPARATE AND DISTINCT REQUIREMENTS UNDERTAKEN IN ADDITION TO THE SCOPE OF WORK OUTLINED HEREIN, WHERE COMPONENTS HAVE BEEN PLACED OR RENDERED IN CONFLICT WITH THE APPROVED DESIGN, INTENT, AND/OR SUPPLEMENTAL DATA SUBSEQUENTLY APPENDED, THE ERROR(S) SHALL BE CORRECTED, AND IN THIS MATTER **THERE SHALL BE NO EXCEPTION GRANTED**.
4. ELEVATIONS, PIPING LAYOUT PLANS, DETAILS, AND SIMILAR ITEMS, DETECT SYSTEM COMPONENTS AND THEIR RELATIVE ARRANGEMENT WHICH ARE ESSENTIAL TO THE INTENDED FUNCTIONAL CHARACTERISTICS OF THE DRAINAGE SYSTEM. THERE ARE NO "EXTRA PARTS" OR ANY AMBIGUOUS DIMENSIONS GIVEN, NOR ARE ANY NOTED TO BE CONSIDERED ANYTHING LESS THAN DIRECT SPECIFICATION, WHERE ANY DIMENSION, SPECIFICATION, OR OTHER INSTRUCTION FALLS IN CONFLICT WITH ANOTHER, THE MORE STRINGENT SHALL APPLY.
5. ALL PIPING WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE FASHION, WITH CLEAN, STRAIGHT CUTS, AND FULL DEPTH JOINING AT BELLS / COLLARS.
6. ALL DRAINAGE SYSTEM STRUCTURES SHALL BE SUPPORTED ON A LAYER OF TRAP ROCK NO LESS THAN 6" DEEP.
7. ALL PIPING WORK SHALL BE BACK FILLED AND COMPACTED TO THE SPRING LINE OF THE CONDUIT SPECIFICALLY FOR THE PURPOSE OF INSPECTION AND SHALL BE PLACED IN THIS CONDITION PRIOR TO THE TIME OF INSPECTION BY THE CITY OF STAMFORD AND/OR THE ENGINEER. THIS APPLIES TO THE ENTIRE SYSTEM ALIGNMENT UNLESS OTHERWISE NOTED OR ARRANGED.
8. ALL CONNECTIONS MADE BETWEEN PIPING WORK AND SYSTEM STRUCTURES SHALL BE MADE WITH HIGH STRENGTH MORTAR FOR CONCRETE STRUCTURES, OR WATER TIGHT ADAPTORS FOR HDPE OR PVC. STRUCTURES, JOINTS SHALL BE STRUCK FLUSH WITH THE STRUCTURE SURFACE AT INTERIOR AND EXTERIOR FACES. PIPE (EXCLUDING BULKHEAD OPENINGS) SHALL EXTEND 2" - EVENLY - BEYOND THE INTERIOR FACE, WHERE PIPE CONNECTS AT AN ANGLE, CUT THE PIPE AT A CORRESPONDING ANGLE AS WELL.
9. UNIT MASONRY CONSTRUCTION, WHERE EVER USED, SHALL BE CONSTRUCTED WITH SOLID BLOCK, BRICK, OR PRE CAST CONCRETE. THE MAXIMUM DIMENSION OF ANY MORTAR JOINT SHALL NOT EXCEED 1-1/2". JOINTS SHALL BE STRUCK FULLY FLUSH REGARDLESS OF FINAL EXPOSURE. MANHOLE COVERS, RISERS, STRUCTURE SECTIONS, AND ALL OTHER COMPONENTS CONNECTED WITH MORTAR SHALL BE SET IN FULL BED APPLICATIONS.
10. UNLESS SPECIFICALLY DESIGNED TO WITHSTAND DRAINAGE LOADS, ALL KNOCK OUTS IN PRE CAST CONCRETE STRUCTURES SHALL BE FILLED TO THEIR FULL OUTWARD DEPTH WITH UNIT MASONRY.
11. COARSE AGGREGATE SUCH AS TRAP ROCK AND RIP-RAP SHALL BE CRUSHED NATURAL STONE, COMPLIANT WITH THE STATE OF CONNECTICUT, D.O.T. HIGHWAY CONSTRUCTION MANUAL.

| Soil Data | | | | | | | | | |
|--------------------------------------|---------|---------|---------|---------|---------|---------|---------|---------|-------|
| Soil Type | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 |
| TOPSOIL | 0'-10" | 0'-2" | 0'-8" | 0'-2" | 0'-2" | 0'-2" | 0'-2" | 0'-10" | 0'-2" |
| ORANGE BROWN SANDY LOAM | 10'-24" | 7'-24" | 8'-36" | 7'-36" | 7'-36" | 7'-36" | 10'-40" | 7'-36" | |
| GRAY SANDY GRAVEL | 24'-40" | 36'-40" | 36'-40" | 36'-40" | 36'-40" | 36'-40" | 36'-40" | 36'-40" | |
| DARK BROWN SILTY LOAM | - | - | - | - | - | - | - | - | |
| BROWN SILTY LOAM W/ MOTTLES | - | - | - | - | - | - | - | - | |
| HARDPAN | 24" | 24" | 36" | 36" | 32" | 36" | 36" | 36" | 36" |
| MOTTLED | - | - | - | - | - | - | - | 40" | 36" |
| LOAM | - | - | - | - | - | - | - | 48" | |
| LEDGE | 60" | 48" | 64" | 68" | 61" | 68" | 62" | 69" | 60" |
| ROOTS | - | - | - | - | - | - | - | - | |
| 13 SOUTH BROOK DRIVE - ADAM AGLIETTI | | | | | | | | | |

ENGINEER'S SEAL



| | | | | |
|-----------|------------|------------------------------------|--------|--------|
| 1. | 11/12/2024 | REVISIONS PER DPW AND EPB COMMENTS | R.W.F. | R.D.S. |
| No. | DATE | DESCRIPTION | DWG | CHK'D |
| REVISIONS | | | | |

| | | | | |
|--------------------------------|--|-----------------|-----------|-----------|
| PROJECT NAME | | | | |
| PROPOSED SITE DEVELOPMENT PLAN | | | | |
| ON PROPERTY OF | | | | |
| ADAM AGLIETTI | | | | |
| 13 SOUTH BROOK DRIVE | | | | |
| STAMFORD CONNECTICUT | | | | |
| DRAWING TITLE | | | | |
| PROPOSED SITE PLAN | | | | |
| SCALE | 1" = 30' | MUNICIPALITY | STAMFORD | SHEET No. |
| DATE | JULY 23, 2024 | COUNTY | FAIRFIELD | 4 |
| DRAWN | R.W.F. | SHEET No. | 4 OF 8 | |
| CHECKED | R.D.S. | TAX ACCOUNT No. | 004-0002 | |
| APPROVED | C.F.S. | | | |
| FILE NAME: | X:\Data\Property Files\Stamford\Tax D\004\004-0002 South Brook Drive Lot #13 | | | |

FILE No. STAMFORD
COMPARED C.F.S. & J.A.M.

PRINTS NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL.

- Standard City of Stamford Notes:**
1. A Street Opening Permit is required for all work within the City of Stamford Right-of-Way.
 2. All work within the City of Stamford Right-of-Way shall be constructed to City of Stamford requirements, the State of Connecticut Basic Building Code and the Connecticut Guidelines for Soil Erosion and Sedimentation Control.
 3. The Engineering Bureau of the City of Stamford shall be notified three days prior to any commencement of construction or work within the City of Stamford Right of-Way.
 4. Trees within the City of Stamford Right-of-Way to be removed shall be posted in accordance with the Tree Ordinance.
 5. Prior to any excavation the Contractor and/or Applicant/Owner, in accordance with Public Act 77-350, shall be required to contact "Call Before You Dig" at 1-800-922-4455 for mark out of underground utilities.
 6. All retaining walls three (3) feet or higher measured from finished grade at the bottom of the wall to finished grade at the top of the wall and retaining walls supporting a surcharge or impounding Class I, II or III-A liquids are required to have a Building Permit. Retaining walls shall be designed and inspected during construction by a Professional Engineer licensed in the State of Connecticut. Prior to the issuance of a Certificate of Occupancy, retaining walls shall be certified by a Professional Engineer licensed in the State of Connecticut.
 7. Certification will be required by a professional engineer licensed in the State of Connecticut that work has been completed in compliance with the approved drawings.
 8. A Final Improvement Location Survey will be required by a professional land surveyor licensed in the State of Connecticut.
 9. Connection to a city-owned storm sewer shall require the Waiver Covering Storm Sewer Connection to be filed with the City of Stamford Engineering Bureau.
 10. Granite block or other decorative stone or brick, depressed curb, driveway apron and curbing within the City of Stamford Right-of-Way shall require the Waiver Covering Granite Block Depressed Curb and Driveway Aprons to be filed with the City of Stamford Engineering Bureau.
 11. Sediment and erosion controls shall be maintained and repaired as necessary throughout construction until the site is stabilized. At the completion of construction, remove sediment and erosion controls once the site is stable.
 12. To obtain a Certificate of Occupancy, submittal must include all items outlined in the Checklist for Certificate of Occupancy (Appendix D of the City of Stamford Drainage Manual).
 13. Reference EPB Permit #, Zoning Permit #, Zoning Board of Appeals #, Subdivision #, if applicable

REGULATORY REQUIREMENTS AND GENERAL NOTES

1. THE CITY OF STAMFORD REQUIRES ALL UNDERGROUND PIPES AND DRAINAGE STRUCTURES BE LOCATED BOTH VERTICALLY AND HORIZONTALLY BY FIELD SURVEY PRIOR TO BACKFILLING. THIS WORK MUST BE PERFORMED BY A PROFESSIONAL ENGINEER OR LAND SURVEYOR REGISTERED IN THE STATE OF CONNECTICUT. THE ONLY EXCEPTIONS TO THIS ARE FOOTING DRAINS, WHERE ONLY THE COLLECTION POINT(S) CONNECTING TO THE PRIMARY SITE DRAINAGE SYSTEM MUST BE LOCATED. A LETTER VERIFYING THAT THE DRAINAGE INSTALLATIONS ARE IN COMPLIANCE WITH APPROVED PLANS, MUST BE SUBMITTED TO THE BUILDING DEPARTMENT ALONG WITH A SITE "AS-BUILT" PLAN BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED. THE LETTER AND PLAN MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF CONNECTICUT. S.E. MINOR & CO., INC. REQUIRES A MINIMUM OF 3 WORKING DAYS PRIOR NOTICE TO SCHEDULE THESE DRAINAGE VERIFICATION SURVEYS.
2. UNDERGROUND UTILITIES, FACILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM SURFACE INDICATIONS AND RECORD SOURCES. THE LOCATIONS OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. ADDITIONALLY, THERE MAY BE OTHER UNDERGROUND UTILITIES THE EXISTENCE OF WHICH IS PRESENTLY UNKNOWN. ANY PARTY UTILIZING THE UTILITY INFORMATION AND DATA DEPICTED ON THIS SURVEY SHALL CALL "CALL BEFORE YOU DIG" AT 800-922-4455 A MINIMUM OF FORTY EIGHT (48) HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES.
3. ANY ENCOUNTERED DRAIN, PIPE, GRAVEL TRENCH, BOX CULVERT, ETC. WILL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER WHO WILL DETERMINE EITHER THE CORRECT WAY TO CONNECT THE DRAIN TO THE PROPOSED SYSTEM OR THE CORRECT PIPE ABANDONMENT PROCEDURE. THE PROJECT ENGINEER SHALL NOTIFY ALL NECESSARY AUTHORITIES UPON FINDING OF ANY DRAINS.

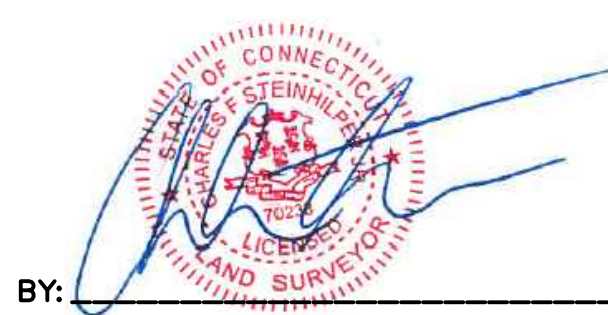
SEPTIC NOTE:

1. THIS PROPOSAL MAY INCLUDE THE DESIGN OF INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEM(S) FOR THE SUBJECT PROPERTY AND/OR EACH OF THE INDIVIDUAL LOTS. THE PROPOSED DESIGN(S) MUST BE APPROVED BY THE STAMFORD HEALTH DEPARTMENT. THE REQUIRED "PERMIT TO CONSTRUCT" MUST BE ISSUED FOR EACH LOT BY THE STAMFORD HEALTH DEPARTMENT PRIOR TO ANY CONSTRUCTION OF THE PROPOSED SEPTIC SYSTEMS. THE CITY OF STAMFORD ALSO REQUIRES ALL UNDERGROUND SEPTIC SYSTEM PIPES, STRUCTURES AND COMPONENTS BE LOCATED BOTH VERTICALLY AND HORIZONTALLY BY FIELD SURVEY PRIOR TO BACKFILLING. THIS WORK MUST BE PERFORMED UNDER THE INSPECTION OF A PROFESSIONAL ENGINEER AND LOCATED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CONNECTICUT OR THEIR DESIGNEE. ALL WORK MUST BE INSPECTED BY A CITY HEALTH DEPARTMENT INSPECTOR AND THE PROJECT ENGINEER OR THEIR DESIGNEE. A LETTER VERIFYING THAT THE SEPTIC INSTALLATIONS ARE IN COMPLIANCE WITH THE APPROVED PLANS AND PERMIT CONDITIONS MUST BE SUBMITTED TO THE STAMFORD HEALTH DEPARTMENT ALONG WITH A SEPTIC OR SITE "AS-BUILT" PLAN FOR EACH LOT BEFORE A "PERMIT TO DISCHARGE" WILL BE ISSUED. THE LETTER MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER, AND THE "AS-BUILT" PLAN MUST BE SIGNED BY A PROFESSION ENGINEER AND A LAND SURVEYOR REGISTERED IN THE STATE OF CONNECTICUT. S.E. MINOR & CO., INC. REQUIRES A MINIMUM OF 3 WORKING DAYS PRIOR NOTICE TO SCHEDULE THESE SEPTIC VERIFICATION SURVEYS.

THE TOPOGRAPHIC AND VERTICAL CLASSES OF ACCURACY FOR THIS SURVEY ARE IN ACCORDANCE WITH THE STANDARDS OF A CLASS "T-2" SURVEY AS DEFINED IN "THE RECOMMENDED STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT." EFFECTIVE JUNE 26, 1996

ZONING LOCATION RE-SURVEY IN ACCORDANCE WITH A CLASS A-2 SURVEY AS SET FORTH IN IN THE STATE OF CONNECTICUT REGULATIONS SECTION 20-300b-1 THROUGH SECTION 20-300b-20

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS "SUBSTANTIALLY CORRECT" AS NOTED HEREON.

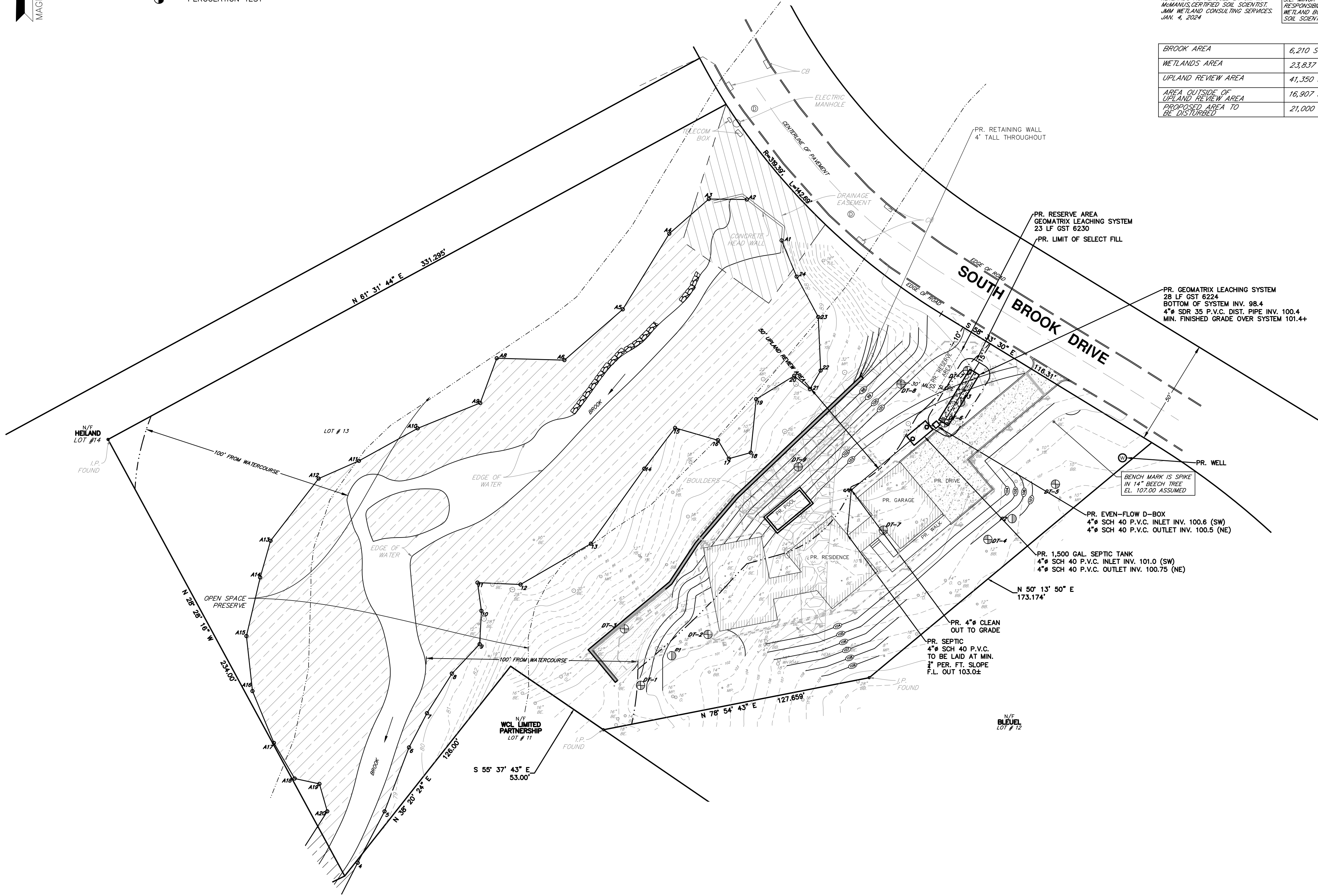


BY: _____ FOR: _____
S. E. MINOR & CO., INC. ENGINEERS & LAND SURVEYORS
33 WEST ELM STREET GREENWICH, CONN. 06830

DATE JULY 2, 2024

LEGEND PROPOSED:

- | | | | |
|--|----------------------|--|---|
| | PROPOSED DRAIN BASIN | | PROPOSED PATIO |
| | STORM DRAIN MH. | | PROPOSED BUILDING |
| | RETAINING WALL | | PROPOSED STORM DRAINAGE MANAGEMENT SYSTEM |
| | PROPOSED CONTOURS | | |
| | PROPOSED SPOT GRADES | | |
| | PROPOSED SWALE | | |
| | DEEP TEST PIT | | |
| | CONDUCTIVITY TEST | | |
| | PERCOLATION TEST | | |



UTILITY NOTE:

Underground utilities, facilities and structures have been plotted from surface indications and record sources. The locations of all underground utilities are approximate only. Additionally, there may be other underground utilities the existence of which is presently unknown. Any party utilizing the utility information and data depicted on this survey shall call "CALL BEFORE YOU DIG" at 800-922-4455 a minimum of forty eight (48) hours prior to any construction activities to verify the location of underground utilities.

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.
IF SCALING FROM THIS PLAN, VERIFY SCALE WITH THE GRAPHIC SCALE PROVIDED ABOVE.

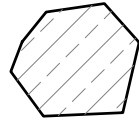
ZONE: RA-3
AREA = 88,304 SQ. FT. / 2.027 ACRES

SCALE: 1 IN. = 30 FT.

PR. BUILDING COVERAGE :

RA-3
88,304 X 0.10 = 8,830 SQ. FT.

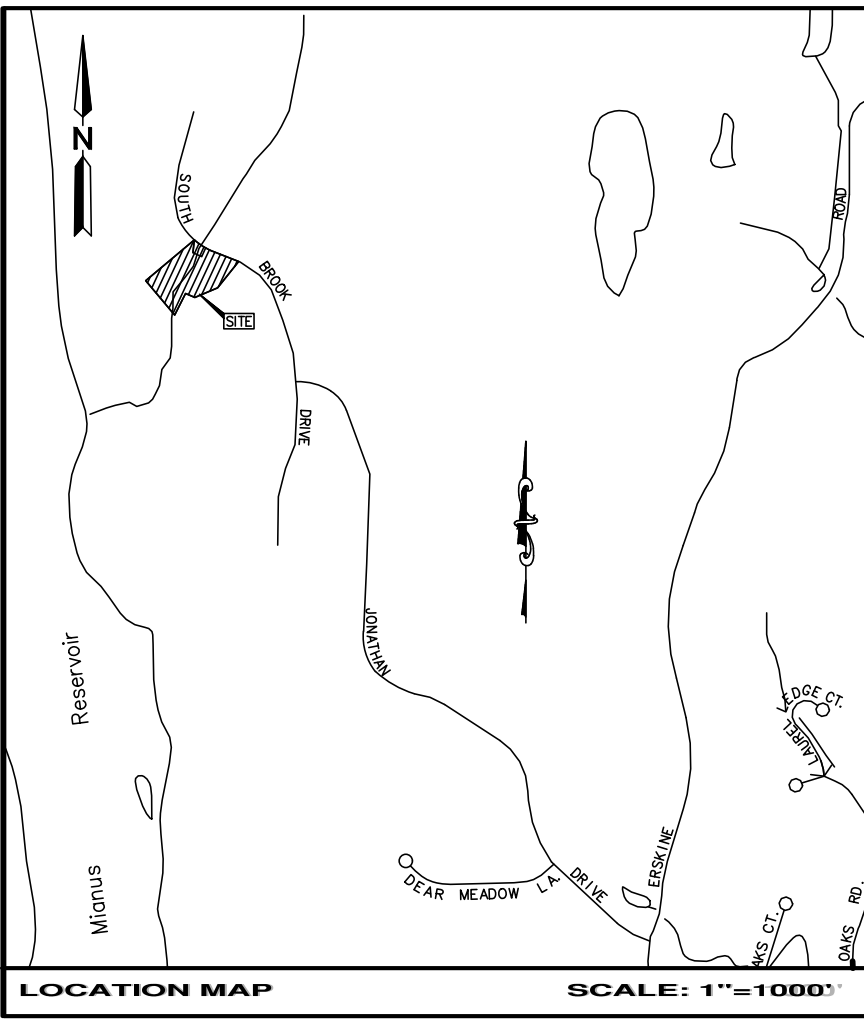
RESIDENCE = 2,793 SQ. FT.
8,830 - 2,793 = 6,037 SQ. FT. REMAINING



WETLANDS AS FLAGGED BY JIM M. MAMAW, CERTIFIED SOIL SCIENTIST, JAN 4, 2024

S.E. MINOR & CO., INC. TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE WETLAND BOUNDARY AS DETERMINED BY THE SOIL SCIENTIST.

| | | |
|------------------------------------|----------------|-------------|
| BROOK AREA | 6,210 SQ. FT. | 0.143 ACRES |
| WETLANDS AREA | 23,837 SQ. FT. | 0.547 ACRES |
| UPLAND REVIEW AREA | 41,350 SQ. FT. | 0.949 ACRES |
| AREA OUTSIDE OF UPLAND REVIEW AREA | 16,907 SQ. FT. | 0.388 ACRES |
| PROPOSED AREA TO BE DISTURBED | 21,000 SQ. FT. | 0.482 ACRES |

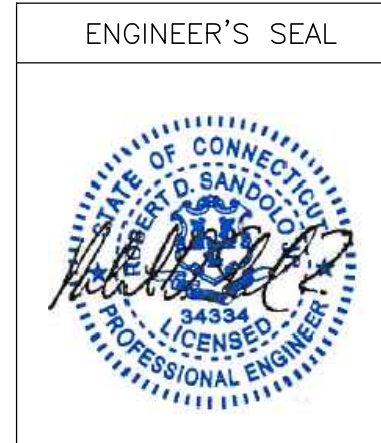


MAP BLOCK LOT
22 400 13

CITY OF STAMFORD NOTES:

1. ALL SELECT FILL MATERIAL MUST MEET THE REQUIREMENTS SPECIFIED IN SECTION VII A OF THE STATE OF CONNECTICUT PUBLIC HEALTH CODE TECHNICAL STANDARDS. A SEIVE ANALYSIS MUST BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO THE INSTALLATION.
2. FILL SHALL BE PLACED ON THE PERIMETER OF THE TRENCH AREA AND SPREAD WITH A SMALL CRAWLER, TRACTOR OR OTHER APPROVED MACHINERY.
3. CONTRACTOR SHALL CONTACT THE CERTIFYING ENGINEER AND THE HEALTH DEPARTMENT AT LEAST 24 HOURS PRIOR TO CONSTRUCTION; IF NOT, THE SYSTEM INSTALLATION WILL NOT BE CERTIFIED.
4. THE STAMFORD HEALTH DEPARTMENT WILL BE NOTIFIED AT LEAST 24 HOURS IN ADVANCE, AT 203-977-5569, THAT JOB CONSTRUCTION WILL BEGIN.
5. A CONNECTICUT REGISTERED PROFESSIONAL ENGINEER ACCEPTABLE TO THE DIRECTOR OF HEALTH SHALL INSPECT CONSTRUCTION TO INSURE COMPLIANCE WITH THE PROPOSED PLAN.
6. AN "AS-BUILT" PLAN, CERTIFIED BY A PROFESSIONAL ENGINEER, SHALL BE SUBMITTED TO THE DEPARTMENT OF HEALTH BEFORE A "PERMIT TO USE" IS ISSUED.
7. IF THE REPLACEMENT AREA IS IN AN AREA OF SPECIAL CONCERN AND THE DESIGN NEEDS TO BE INSTALLED, A LICENSED PROFESSIONAL ENGINEER WILL NEED TO SUBMIT A SEPARATE PROPOSAL TO THE HEALTH DEPARTMENT.

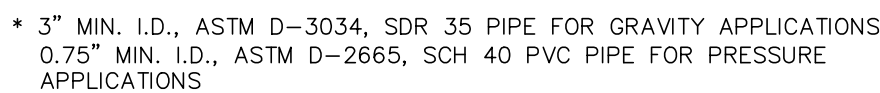
| | | | | | |
|--------------------------------|--|------------------------------------|-----------|-----------|--|
| | | | | | |
| 1. | 11/12/2024 | REVISIONS PER DPW AND EPB COMMENTS | R.W.F. | R.D.S. | |
| No. | DATE | DESCRIPTION | DWG | CHK'D | |
| PROJECT NAME | | | | | |
| PROPOSED SITE DEVELOPMENT PLAN | | | | | |
| ON PROPERTY OF | | | | | |
| ADAM AGLIETTI | | | | | |
| 13 SOUTH BROOK DRIVE | | | | | |
| STAMFORD CONNECTICUT | | | | | |
| DRAWING TITLE | | | | | |
| PROPOSED SEPTIC PLAN | | | | | |
| SCALE | 1" = 30' | MUNICIPALITY | STAMFORD | SHEET No. | |
| DATE | JULY 23, 2024 | COUNTY | FAIRFIELD | | |
| DRAWN | R.W.F. | SHEET No. | 7 OF 8 | | |
| CHECKED | R.D.S. | TAX ACCOUNT No. | | | |
| APPROVED | C.F.S. | 004-0002 | | | |
| FILE NAME: | X:\Data\Property Files\Stamford\Tax ID #004\004-0002 South Brook Drive Lot #13 | | | | |



FILE No. STAMFORD
COMPARED C.F.S. & J.A.M.

PRINTS NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL.

13. AN IWWA PERMIT MAY BE REQUIRED FOR THIS PROPERTY.



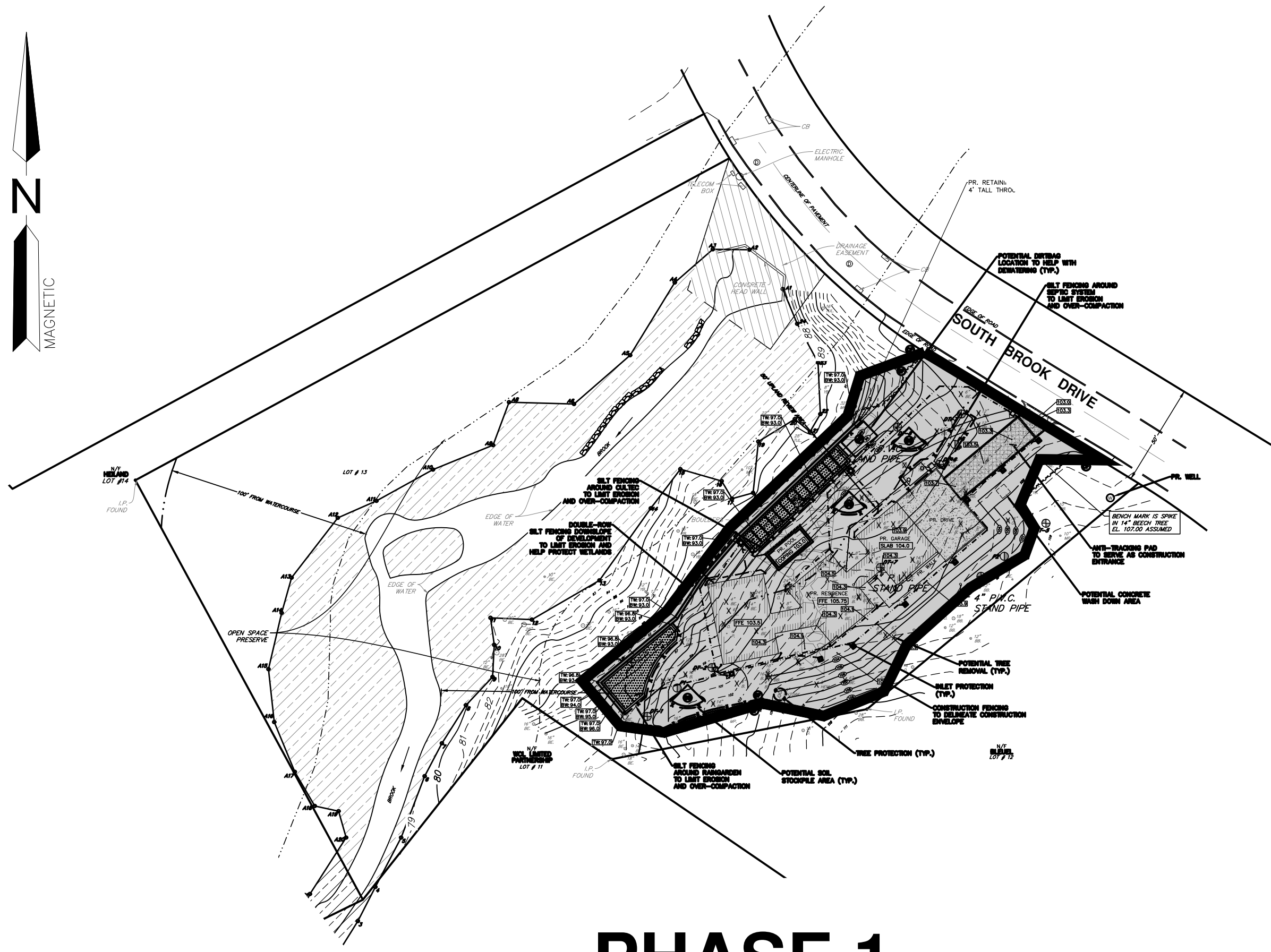
NO SCALE



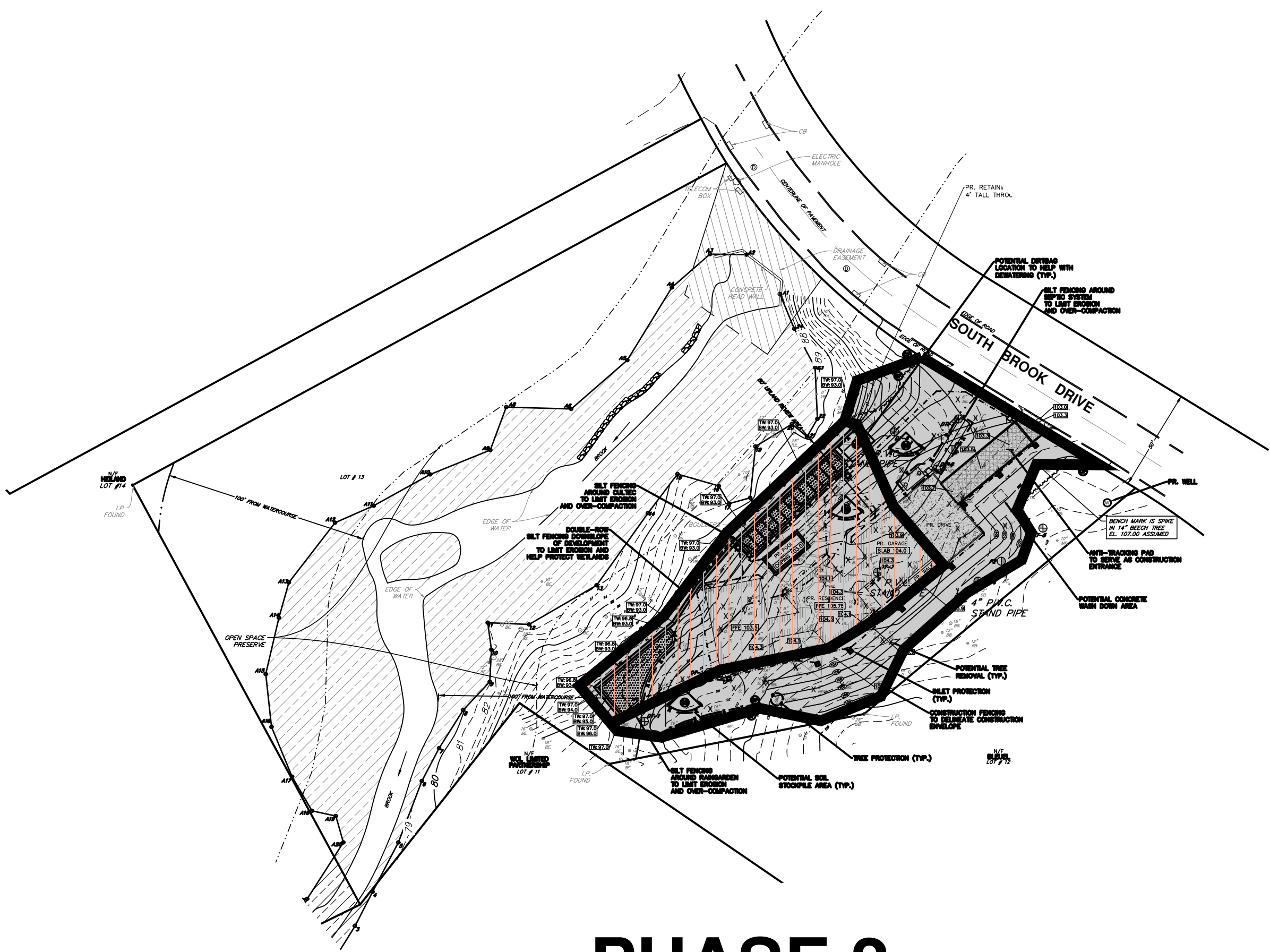
| Hole Number | Clock Time | | Elapsed Time | Percolation | | Percolation | |
|-------------|------------|-------|--------------|------------------------------------|------------------|------------------|-----------|
| | | | | Depth to Water from Ground Surface | | Water Level | |
| | Start | Stop | | Start (Inches) | Stop (Inches) | Drop (Inches) | Soil Rate |
| Perc. 3 | 10:00 | 10:10 | 10 min. | 0 | 5 | 5 | |
| | 10:10 | 10:20 | 10 min. | 5 | 8 | 3 | |
| | 10:20 | 10:30 | 10 min. | 8 | 10 | 2 | |
| | 10:30 | 10:40 | 10 min. | 10 | 11 | 1 | |
| | 10:40 | 10:50 | 10 min. | 11 | 11 ½ | ½ | |
| | 10:50 | 11:00 | 10 min. | 11 ½ | 12 | ½ | |
| | | | | | | | 1" = 20' |

| Hole Number | Clock Time | | Elapsed Time | Percolation | | Percolation | |
|-------------|------------|-------|--------------|------------------------------------|------------------|------------------|-----------|
| | | | | Depth to Water from Ground Surface | | Water Level | |
| | Start | Stop | | Start (Inches) | Stop (Inches) | Drop (Inches) | Soil Rate |
| Perc. 3 | 10:00 | 10:10 | 10 min. | 0 | 5 | 5 | |
| | 10:10 | 10:20 | 10 min. | 5 | 8 | 3 | |
| | 10:20 | 10:30 | 10 min. | 8 | 10 | 2 | |
| | 10:30 | 10:40 | 10 min. | 10 | 11 | 1 | |
| | 10:40 | 10:50 | 10 min. | 11 | 11 ½ | ½ | |
| | 10:50 | 11:00 | 10 min. | 11 ½ | 12 | ½ | |
| | | | | | | | 1" in 20 |

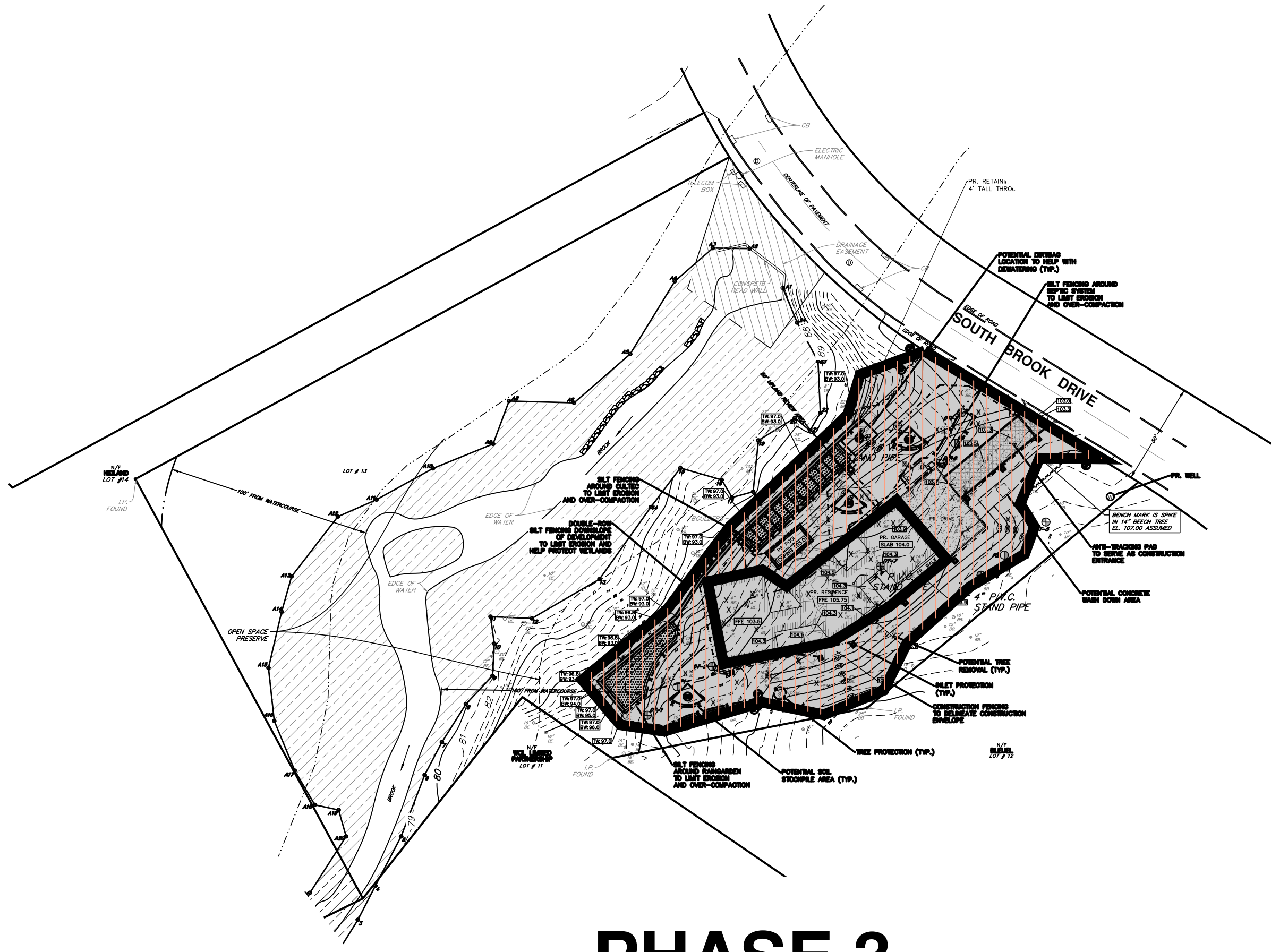
DATE JULY 2, 2024



PHASE 1



PHASE 2

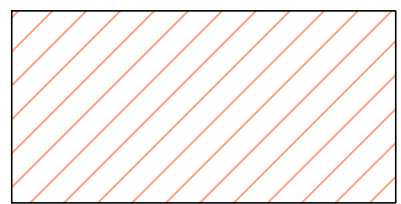


PHASE 3

PHASING LEGEND:

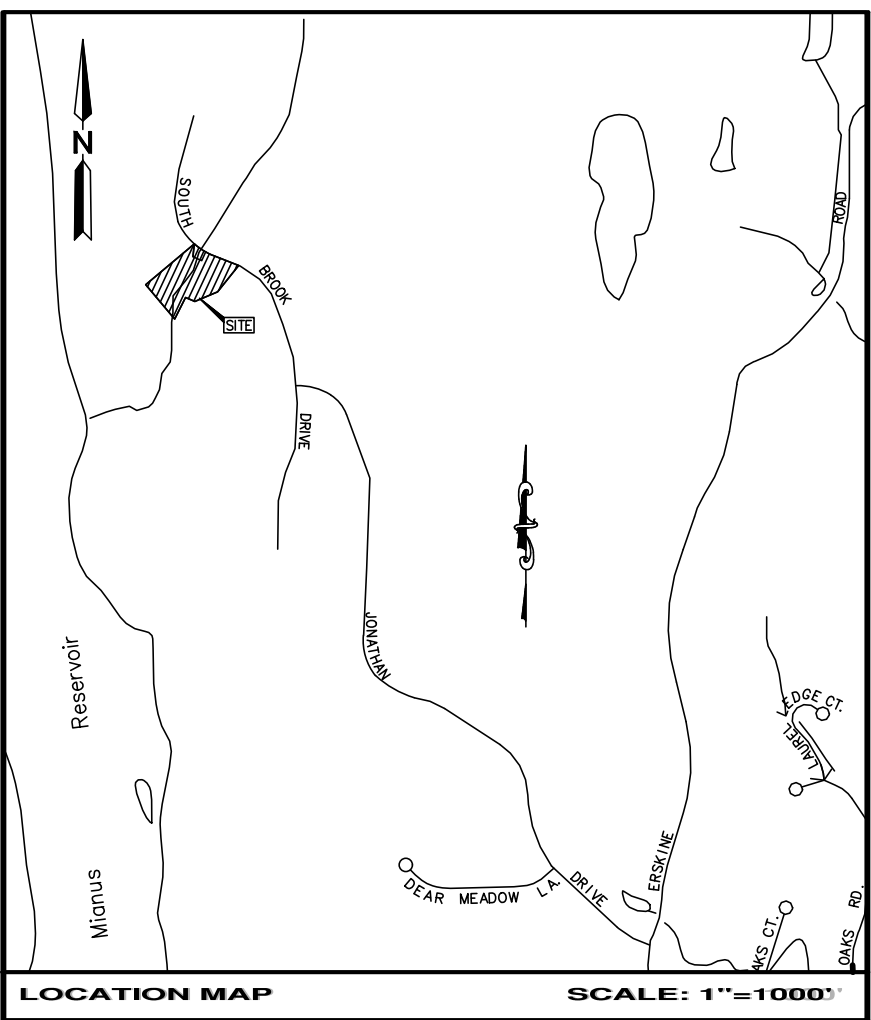


OVERALL CONSTRUCTION ENVELOPE



ACTIVE DISTURBANCE AREA(S)

NOTE: METHODS FOR PROPER DESIGN AND INSTALLATION OF CONTROL MEASURES MAY BE FOUND IN THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, PUBLISHED SEPTEMBER 30, 2024, AND EFFECTIVE MARCH 30, 2024.



MAP BLOCK LOT
22 400 13

GENERAL PHASING PLAN:

1. PHASE 1
 - 1.1. LIMIT OF DISTURBANCE FENCING, SEDIMENT BARRIERS, HAYBALES ETC.
 - 1.2. INSTALL AND STABILIZE CONSTRUCTION ACCESS. MAINTAIN AND REPAIR WITH ITEM 4 AND GRAVEL AS REQUIRED.
 - 1.3. ESTABLISH CONSTRUCTION PARKING, ANTI TRACKING PADS, STAGING AREAS.
 - 1.4. DEWATERING SEDIMENT TRAPS AND DIRT BAGS.
 - 1.5. FENCE OFF AREAS OF NON-DISTURBANCE TO PREVENT CONSTRUCTION ENCROACHMENT AND CONTRACTOR PARKING.
 - 1.6. STRIP TOP SOIL, STOCKPILE ONSITE AT STOCKPILE AREAS.
 - 1.7. STABILIZE DISTURBED AREAS WITH HAY MULCH/WILDFLOWER MIX.
2. PHASE 2
 - 2.1. MAINTAIN/REPAIR SEDIMENT AND EROSION CONTROLS.
 - 2.2. MAINTAIN DEWATERING SEDIMENT TRAPS AND DIRT BAGS.
 - 2.3. BEGIN RESIDENCE FOUNDATION. EXCAVATE/BRING IN FILL AS NEEDED.
 - 2.4. ALL EXCAVATED MATERIAL STOCKPILED ONSITE AT STOCKPILE AREAS.
 - 2.5. BRING IN UTILITY SERVICE(S).
 - 2.6. BEGIN WALL CONSTRUCTION.
 - 2.7. COMPLETE LANDSCAPING AND GRADING IN SURROUNDING AREA.
 - 2.8. STABILIZE DISTURBED AREAS WITH HAY MULCH/WILDFLOWER MIX.
3. PHASE 3
 - 3.1. MAINTAIN/REPAIR SEDIMENT AND EROSION CONTROLS.
 - 3.2. INSTALL RESIDENCE SEPTIC SYSTEM.
 - 3.3. INSTALL CULTEC SYSTEM AND RAINGARDEN.
 - 3.4. COMPLETE LANDSCAPING AND GRADING IN SURROUNDING AREA.
 - 3.5. FINISH DRIVEWAY PAVING.

| | | | | |
|--------------------------------|--|------------------------------------|-----------|------------------------------|
| 1. | 11/12/2024 | REVISIONS PER DPW AND EPB COMMENTS | R.W.F. | R.D.S. |
| No. | DATE | DESCRIPTION | DWG | CHK'D |
| REVISIONS | | | | |
| PROJECT NAME | | | | |
| PROPOSED SITE DEVELOPMENT PLAN | | | | |
| ON PROPERTY OF | | | | |
| ADAM AGLIETTI | | | | |
| 13 SOUTH BROOK DRIVE | | | | |
| STAMFORD CONNECTICUT | | | | |
| DRAWING TITLE | | | | |
| PHASING PLAN | | | | |
| SCALE | 1" = 30' | MUNICIPALITY | STAMFORD | SHEET No. |
| DATE | JULY 23, 2024 | COUNTY | FAIRFIELD | P1 |
| DRAWN | R.W.F. | SHEET No. | 1 OF 1 | S.E. MINOR & CO., INC. |
| CHECKED | R.D.S. | TAX ACCOUNT No. | 004-0002 | ESTABLISHED 1887 |
| APPROVED | C.F.S. | | | Engineering • Land Surveying |
| FILE NAME: | X:\Data\Property Files\Stamford\Tax ID #004\004-0002 South Brook Drive Lot #13 | | | |
| | | | | Environmental Scientists |
| | | | | 33 West Elm Street |
| | | | | Greenwich, Connecticut 06830 |
| | | | | 203-869-0138 |
| | | | | www.seminor.com |
| | | | | FILE No. |
| | | | | STAMFORD |
| | | | | COMPARED C.F.S. & J.A.M. |