

PROPOSED SITE DEVELOPMENT PLAN ON PROPERTY OF

ADAM AGLIETTI

13 SOUTH BROOK DRIVE STAMFORD, CONNECTICUT JULY 23, 2024

TAX ACCOUNT No. 004-0002

LEGEND:-

- B. BIRCH
- B.B. BLACK BIRCH
- BE. BEECH
- HEM. HEMLOCK
- MAP. MAPLE
- O. OAK
- P. PINE
- TUL. TULIP
- WHY.OAK. WHITE OAK
- YB. YELLOW BIRCH
- C.B. CATCH BASIN
- P.V.C. POLY-VINYL CHLORIDE PIPE

- Ⓧ DRAINAGE MANHOLE
- 198- CONTOUR LINE
- STONE WALL
- TREE

REGULATORY REQUIREMENTS AND GENERAL NOTES

- THE CITY OF STAMFORD REQUIRES ALL UNDERGROUND PIPES AND DRAINAGE STRUCTURES BE LOCATED BOTH VERTICALLY AND HORIZONTALLY BY FIELD SURVEY PRIOR TO BACKFILLING. THIS WORK MUST BE PERFORMED BY A PROFESSIONAL ENGINEER OR LAND SURVEYOR REGISTERED IN THE STATE OF CONNECTICUT. THE ONLY EXCEPTIONS TO THIS ARE FOOTING DRAINS, WHERE ONLY THE COLLECTION POINT(S) CONNECTING TO THE PRIMARY SITE DRAINAGE SYSTEM MUST BE LOCATED. A LETTER VERIFYING THAT THE DRAINAGE INSTALLATIONS ARE IN COMPLIANCE WITH APPROVED PLANS, MUST BE SUBMITTED TO THE BUILDING DEPARTMENT ALONG WITH A SITE "AS-BUILT" PLAN BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED. THE LETTER AND PLAN MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF CONNECTICUT. S.E. MINOR & CO., INC. REQUIRES A MINIMUM OF 3 WORKING DAYS PRIOR NOTICE TO SCHEDULE THESE DRAINAGE VERIFICATION SURVEYS.
- UNDERGROUND UTILITIES, FACILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM SURFACE INDICATIONS AND RECORD SOURCES. THE LOCATIONS OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. ADDITIONALLY, THERE MAY BE OTHER UNDERGROUND UTILITIES THE EXISTENCE OF WHICH IS PRESENTLY UNKNOWN. ANY PARTY UTILIZING THE UTILITY INFORMATION AND DATA DEPICTED ON THIS SURVEY SHALL CALL "CALL BEFORE YOU DIG" AT 800-922-4455 A MINIMUM OF FORTY EIGHT (48) HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES.
- ANY ENCOUNTERED DRAIN, PIPE, GRAVEL TRENCH, BOX CULVERT, ETC. WILL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER WHO WILL DETERMINE EITHER THE CORRECT WAY TO CONNECT THE DRAIN TO THE PROPOSED SYSTEM OR THE CORRECT PIPE ABANDONMENT PROCEDURE. THE PROJECT ENGINEER SHALL NOTIFY ALL NECESSARY AUTHORITIES UPON FINDING OF ANY DRAINS.

SEPTIC NOTE:

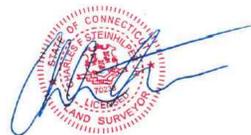
- THIS PROPOSAL MAY INCLUDE THE DESIGN OF INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEM(S) FOR THE SUBJECT PROPERTY AND/OR EACH OF THE INDIVIDUAL LOTS. THE PROPOSED DESIGN(S) MUST BE APPROVED BY THE STAMFORD HEALTH DEPARTMENT. THE REQUIRED "PERMIT TO CONSTRUCT" MUST BE ISSUED FOR EACH LOT BY THE STAMFORD HEALTH DEPARTMENT PRIOR TO ANY CONSTRUCTION OF THE PROPOSED SEPTIC SYSTEMS. THE CITY OF STAMFORD ALSO REQUIRES ALL UNDERGROUND SEPTIC SYSTEM PIPES, STRUCTURES AND COMPONENTS BE LOCATED BOTH VERTICALLY AND HORIZONTALLY BY FIELD SURVEY PRIOR TO BACKFILLING. THIS WORK MUST BE PERFORMED UNDER THE INSPECTION OF A PROFESSIONAL ENGINEER AND LOCATED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CONNECTICUT OR THEIR DESIGNEE. ALL WORK MUST BE INSPECTED BY A CITY HEALTH DEPARTMENT INSPECTOR AND THE PROJECT ENGINEER OR THEIR DESIGNEE. A LETTER VERIFYING THAT THE SEPTIC INSTALLATIONS ARE IN COMPLIANCE WITH THE APPROVED PLANS AND PERMIT CONDITIONS MUST BE SUBMITTED TO THE STAMFORD HEALTH DEPARTMENT ALONG WITH A SEPTIC OR SITE "AS-BUILT" PLAN FOR EACH LOT BEFORE A "PERMIT TO DISCHARGE" WILL BE ISSUED. THE LETTER MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER, AND THE "AS-BUILT" PLAN MUST BE SIGNED BY A PROFESSIONAL ENGINEER AND A LAND SURVEYOR REGISTERED IN THE STATE OF CONNECTICUT. S.E. MINOR & CO., INC. REQUIRES A MINIMUM OF 3 WORKING DAYS PRIOR NOTICE TO SCHEDULE THESE SEPTIC VERIFICATION SURVEYS.

UTILITY NOTE:

Underground utilities, facilities and structures have been plotted from surface indications and record sources. The locations of all underground utilities are approximate only. Additionally, there may be other underground utilities the existence of which is presently unknown. Any party utilizing the utility information and data depicted on this survey shall call "CALL BEFORE YOU DIG" at 800-922-4455 a minimum of forty eight (48) hours prior to any construction activities to verify the location of underground utilities.

NOTES:

- THE PURPOSE OF THIS PARTIAL TOPOGRAPHIC MAP IS TO DETERMINE THE VIABILITY OF BUILDING A RESIDENCE. IT IS NOT TO BE CONSTRUED AS A COMPLETE TOPOGRAPHIC MAP OF THE PROPERTY THAT MAY BE REQUIRED FOR PERMITTING.
- PROPERTY IS IN ZONE X, AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) No. 090015 383 F. EFFECTIVE: JUNE 18, 2010.
- THE TOPOGRAPHIC INFORMATION DEPICTED HEREON WAS ACQUIRED BY FIELD SURVEY ON MARCH 15, 2024.
- REFERENCE IS MADE TO MAP No. 11179, 11180, 11480 AND 11720 ON FILE IN THE STAMFORD LAND RECORDS.
- THE OPEN SPACE DEPICTED ON THIS PLAN IS TAKEN FROM PLANS REFERENCED ABOVE.
- REFERENCE IS MADE TO CITY OF STAMFORD TAX ASSESSOR MAP 22 LOT 004-0002, MAP 22, BLOCK 400 LOT 13.
- BOUNDARY DETERMINATION / OPINION IS BASED ON A DEPENDENT RESURVEY.
- ELEVATIONS REFER TO AN ASSUMED DATUM.



LEGEND PROPOSED:

- PROPOSED DRAIN BASIN
- STORM DRAIN MH.
- RETAINING WALL
- PROPOSED CONTOURS
- PROPOSED SPOT GRADES
- PROPOSED SWALE
- DEEP TEST PIT
- CONDUCTIVITY TEST
- PERCOLATION TEST
- PROPOSED BUILDING ACCESS
- GEOTHERMAL WELL HEAD
- PROPOSED PATIO
- PROPOSED BUILDING
- PROPOSED STORM DRAINAGE MANAGEMENT SYSTEM
- CONSTRUCTION ENTRANCE
- SILT FENCE-GEOTEXTILE
- CONSTRUCTION FENCE
- TREE PROTECTION
- STOCKPILE AREA
- INLET PROTECTION

PR. BUILDING COVERAGE :

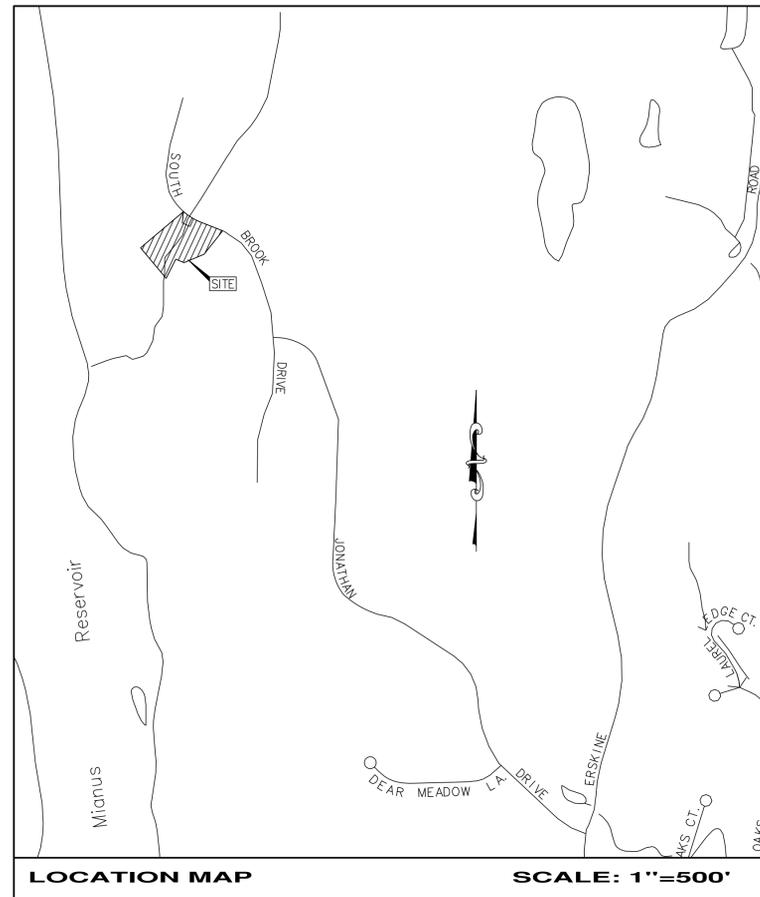
RA-3		
88,304	X 0.10	= 8,830 SQ. FT.
RESIDENCE	=	2,793 SQ. FT.
8,830	- 2,793	= 6,037 SQ. FT. REMAINING



WETLANDS AS FLAGGED BY JIM M. MINOR'S CERTIFIED SOIL SCIENTIST, JIM WETLAND CONSULTING SERVICES, JAN. 4, 2024

S.E. MINOR & CO., INC. TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE WETLAND BOUNDARY AS DETERMINED BY THE SOIL SCIENTIST.

AREA	SQ. FT.	ACRES
BROOK AREA	6,210 SQ. FT.	0.143 ACRES
WETLANDS AREA	23,837 SQ. FT.	0.547 ACRES
UPLAND REVIEW AREA	41,350 SQ. FT.	0.949 ACRES
AREA OUTSIDE OF UPLAND REVIEW AREA	16,907 SQ. FT.	0.388 ACRES
PROPOSED AREA TO BE DESTROYED	21,000 SQ. FT.	0.482 ACRES



MAP	BLOCK	LOT
22	400	13

ZONE: RA-3
AREA = 88,304 SQ. FT. / 2.027 ACRES

DRAWING LIST

SHEET NO.	DRAWING TITLE
1	COVER SHEET
2	ZONING LOCATION SURVEY
3	EXISTING CONDITIONS
4	PROPOSED SITE PLAN
5	EROSION CONTROL PLAN
6	DETAILS AND NOTES
7	PROPOSED SEPTIC PLAN
8	SEPTIC DETAILS AND NOTES



S.E. MINOR & CO., INC.



ESTABLISHED 1887
Engineering • Land Surveying
Environmental Scientists
33 West Elm Street
Greenwich, Connecticut 06830
203-869-0136
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SHEET No

1

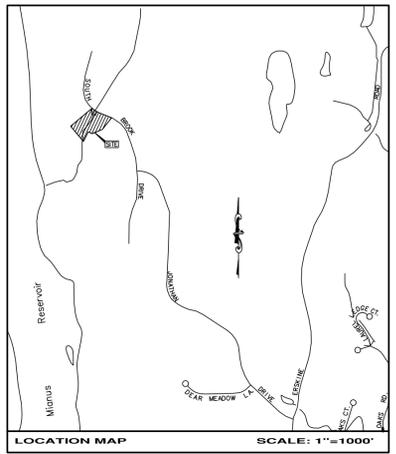
SHEET 1 OF 8

No.	DATE	DESCRIPTION	R.W.F.	R.D.S.	DWG	CHK'D
1.	11/12/2024	REVISIONS PER DPW AND EPB COMMENTS				
		REVISIONS				

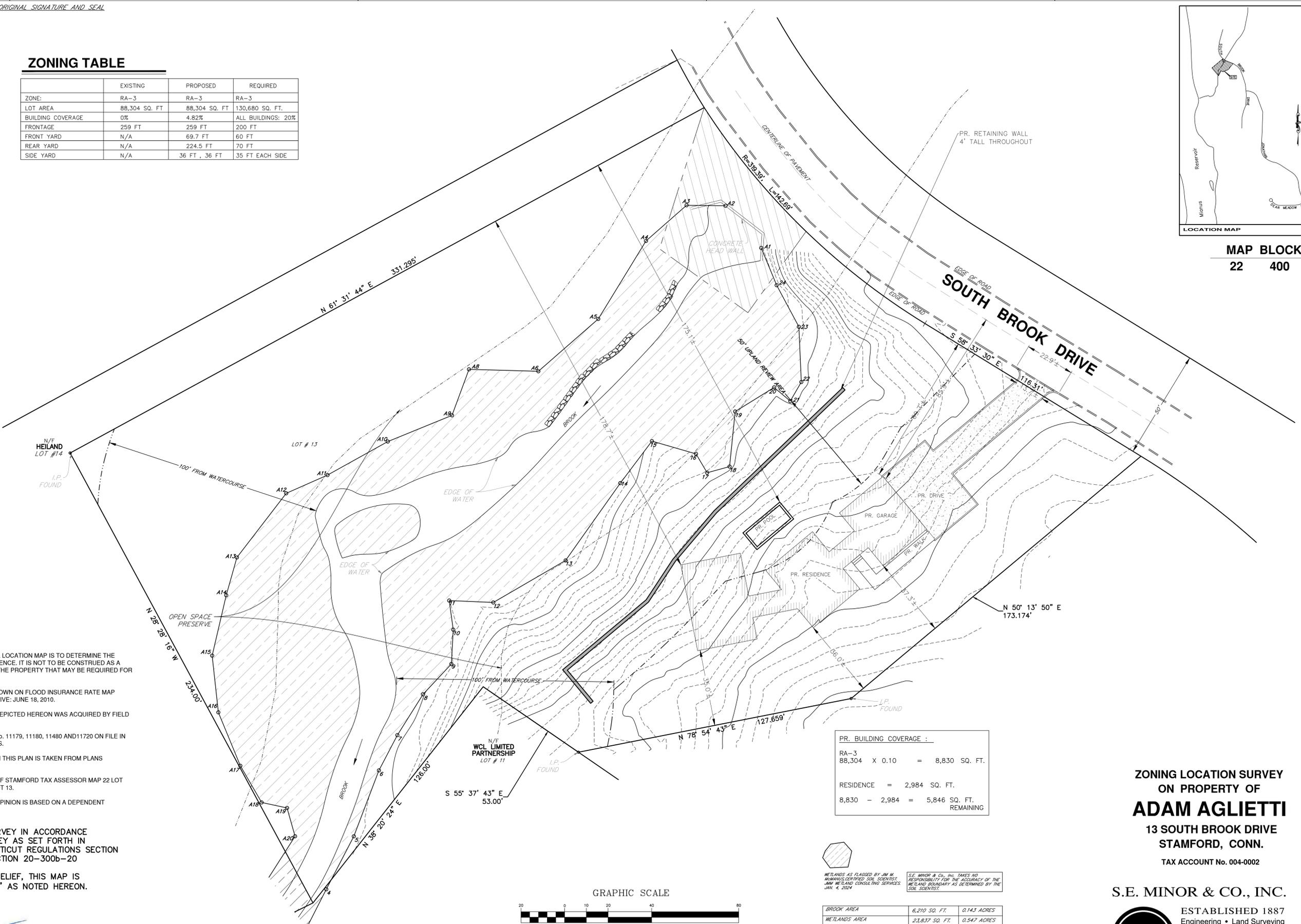


ZONING TABLE

	EXISTING	PROPOSED	REQUIRED
ZONE:	RA-3	RA-3	RA-3
LOT AREA	88,304 SQ. FT.	88,304 SQ. FT.	130,660 SQ. FT.
BUILDING COVERAGE	0%	4.82%	ALL BUILDINGS: 20%
FRONTAGE	259 FT	259 FT	200 FT
FRONT YARD	N/A	69.7 FT	60 FT
REAR YARD	N/A	224.5 FT	70 FT
SIDE YARD	N/A	36 FT, 36 FT	35 FT EACH SIDE



MAP BLOCK LOT
22 400 13



- NOTES:**
1. THE PURPOSE OF THIS PARTIAL LOCATION MAP IS TO DETERMINE THE VIABILITY OF BUILDING A RESIDENCE. IT IS NOT TO BE CONSTRUED AS A COMPLETE LOCATION MAP OF THE PROPERTY THAT MAY BE REQUIRED FOR PERMITTING.
 2. PROPERTY IS IN ZONE X, AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) No. 090015 363 F, EFFECTIVE: JUNE 18, 2010.
 3. THE LOCATION INFORMATION DEPICTED HEREON WAS ACQUIRED BY FIELD SURVEY ON MARCH 15, 2024.
 4. REFERENCE IS MADE TO MAP No. 11179, 11180, 11480 AND 11720 ON FILE IN THE STAMFORD LAND RECORDS.
 5. THE OPEN SPACE DEPICTED ON THIS PLAN IS TAKEN FROM PLANS REFERENCED ABOVE.
 6. REFERENCE IS MADE TO CITY OF STAMFORD TAX ASSESSOR MAP 22 LOT 004-0002, MAP 22, BLOCK 400 LOT 13.
 7. BOUNDARY DETERMINATION / OPINION IS BASED ON A DEPENDENT RESURVEY.

ZONING LOCATION RE-SURVEY IN ACCORDANCE WITH A CLASS A-2 SURVEY AS SET FORTH IN IN THE STATE OF CONNECTICUT REGULATIONS SECTION 20-300b-1 THROUGH SECTION 20-300b-20

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS "SUBSTANTIALLY CORRECT" AS NOTED HEREON.

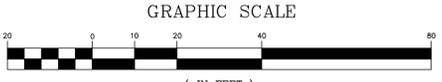
BY: _____ FOR: _____

PR. BUILDING COVERAGE :

RA-3	88,304	X 0.10	=	8,830 SQ. FT.
RESIDENCE	=	2,984	SQ. FT.	
8,830	-	2,984	=	5,846 SQ. FT. REMAINING

WETLANDS AS FLAGGED BY JIM M. MINOR & CO., INC. TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE WETLAND BOUNDARY AS DETERMINED BY THE SOIL SCIENTIST.

AREA	SQ. FT.	ACRES
BROOK AREA	6,210	0.143
WETLANDS AREA	23,837	0.547
UPLAND REVIEW AREA	41,350	0.949
AREA OUTSIDE WETLANDS	16,907	0.388
PROPOSED AREA TO BE DISTURBED	21,000	0.482



ZONE: RA-3
AREA = 88,304 SQ. FT. / 2.027 ACRES

SCALE: 1 IN. = 20 FT.

ZONING LOCATION SURVEY
ON PROPERTY OF
ADAM AGLIETTI
13 SOUTH BROOK DRIVE
STAMFORD, CONN.
TAX ACCOUNT No. 004-0002

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SHEET No
2
SHEET 2 OF 8



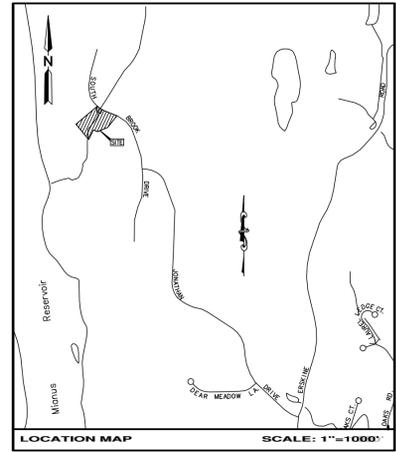
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LEGEND: -

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- ⊙ DRAINAGE MANHOLE
- 198 --- CONTOUR LINE
- ▬▬▬▬ STONE WALL
- TREE



MAP BLOCK LOT
22 400 13

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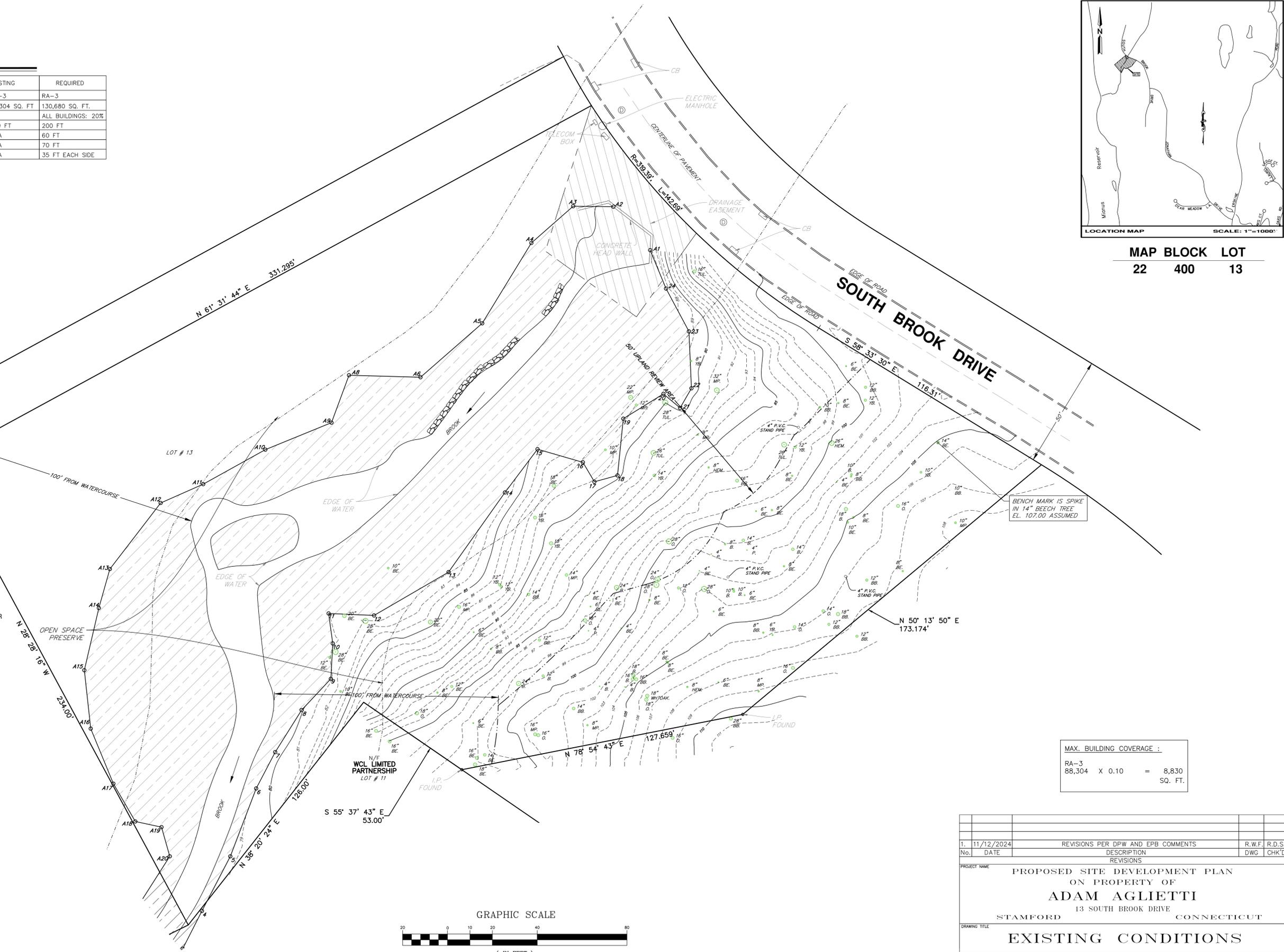
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ZONING LOCATION RE-SURVEY IN ACCORDANCE WITH A CLASS A-2 SURVEY AS SET FORTH IN IN THE STATE OF CONNECTICUT REGULATIONS SECTION 20-300b-1 THROUGH SECTION 20-300b-20

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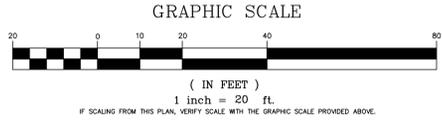


BY: _____ FOR: _____
S. E. MINOR & CO., INC. ENGINEERS & LAND SURVEYORS
33 WEST ELM STREET GREENWICH, CONN. 06830



BENCH MARK IS SPIKE IN 14" BEECH TREE EL. 107.00 ASSUMED

MAX. BUILDING COVERAGE :
RA-3
88,304 x 0.10 = 8,830 SQ. FT.



ZONE: RA-3
AREA = 88,304 SQ. FT. / 2.027 ACRES

SCALE: 1 IN. = 20 FT.

1.	11/12/2024	REVISIONS PER DPW AND EPB COMMENTS	R.W.F.	R.D.S.
No.	DATE	DESCRIPTION	DWG	CHK'D
REVISIONS				
PROJECT NAME PROPOSED SITE DEVELOPMENT PLAN ON PROPERTY OF ADAM AGLIETTI 13 SOUTH BROOK DRIVE STAMFORD CONNECTICUT				
DRAWING TITLE EXISTING CONDITIONS				
SCALE	1" = 20'	MUNICIPALITY	STAMFORD	SHEET No.
DATE	JULY 23, 2024	COUNTY	FAIRFIELD	3 OF 8
DRAWN	R.W.F.	SHEET No.	3 OF 8	3
CHECKED	R.D.S.	TAX ACCOUNT No.	004-0002	
APPROVED	C.F.S.			
FILE NAME:	K:\Data\Property Files\Stamford\Tax ID #004\004-0002 South Brook Drive Lot #13			
S. E. MINOR & CO., INC. ENGINEERS & LAND SURVEYORS 33 WEST ELM STREET GREENWICH, CONN. 06830 203-869-0136 www.seminor.com				

PRINTS NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL.

- Standard City of Stamford Notes:**
1. A Street Opening Permit is required for all work within the City of Stamford Right-of-Way.
 2. All work within the City of Stamford Right-of-Way shall be constructed to City of Stamford requirements, the State of Connecticut Basic Building Code and the Connecticut Guidelines for Soil Erosion and Sedimentation Control.
 3. The Engineering Bureau of the City of Stamford shall be notified three days prior to any commencement of construction or work within the City of Stamford Right of-Way.
 4. Trees within the City of Stamford Right-of-Way to be removed shall be posted in accordance with the Tree Ordinance.
 5. Prior to any excavation the Contractor and/or Applicant/Owner, in accordance with Public Act 77-350, shall be required to contact "Call Before You Dig" at 1-800-922-4455 for mark out of underground utilities.
 6. All retaining walls three (3) feet or higher measured from finished grade at the bottom of the wall to finished grade at the top of the wall and retaining walls supporting a surcharge or impounding Class I, II or III-A liquids are required to have a Building Permit. Retaining walls shall be designed and inspected during construction by a Professional Engineer licensed in the State of Connecticut. Prior to the issuance of a Certificate of Occupancy, retaining walls shall be certified by a Professional Engineer licensed in the State of Connecticut.
 7. Certification will be required by a professional engineer licensed in the State of Connecticut that work has been completed in compliance with the approved drawings.
 8. A Final Improvement Location Survey will be required by a professional land surveyor licensed in the State of Connecticut.
 9. Connection to a city-owned storm sewer shall require the Waiver Covering Storm Sewer Connection to be filed with the City of Stamford Engineering Bureau.
 10. Granite block or other decorative stone or brick, depressed curb, driveway apron and curbing within the City of Stamford Right-of-Way shall require the Waiver Covering Granite Block Depressed Curb and Driveway Aprons to be filed with the City of Stamford Engineering Bureau.
 11. Sediment and erosion controls shall be maintained and repaired as necessary throughout construction until the site is stabilized. At the completion of construction, remove sediment and erosion controls once the site is stable.
 12. To obtain a Certificate of Occupancy, submittal must include all items outlined in the Checklist for Certificate of Occupancy (Appendix D of the City of Stamford Drainage Manual).
 13. Reference EPB Permit #, Zoning Permit #, Zoning Board of Appeals #, Subdivision #, if applicable

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S. E. MINOR & CO., INC. ENGINEERS & LAND SURVEYORS 33 WEST ELM STREET GREENWICH, CONN. 06830

DATE: JULY 2, 2024

LEGEND PROPOSED:

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- STORM DRAIN MH.
- RETAINING WALL
- PROPOSED CONTOURS
- PROPOSED SPOT GRADES
- PROPOSED SWALE
- DEEP TEST PIT
- CONDUCTIVITY TEST
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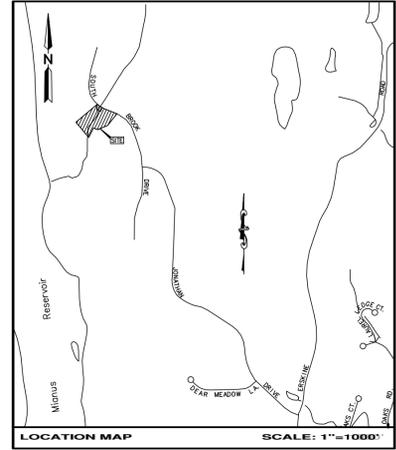
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			=	5,623	SQ. FT. REMAINING

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	21,000 SQ. FT.	0.482 ACRES



MAP BLOCK LOT
22 400 13

DRAINAGE SYSTEM - GENERAL CONSTRUCTION NOTES:

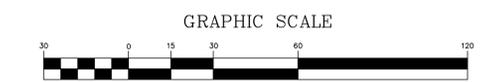
1. INSTALL THE PROPOSED DRAINAGE SYSTEM TO THE LINES, GRADES, ELEVATIONS, AND OTHER DIMENSIONS SHOWN, WHERE NOT SPECIFICALLY DIMENSIONED, FIELD STAKING IN REFERENCE TO ESTABLISHED POINTS MAY BE REQUIRED TO INSURE ACCURATE PLACEMENT OF COMPONENTS. IN SUCH CASES, THE INSTALLER SHALL ENLIST THE SERVICES OF THE PROJECT LAND SURVEYOR.
2. ALL ASPECTS OF THE DRAINAGE SYSTEM REQUIRE INSPECTION AND FINAL APPROVAL BY THE ENGINEER OF RECORD. ANY ALTERNATIVE UNDERTAKEN IN THIS REGARD, SHALL IN ALL MANNER, RENDER THESE DOCUMENTS IMMEDIATELY VOID.
3. AN AS BUILT DRAWING OF THE COMPLETED DRAINAGE SYSTEM SHALL BE SUBMITTED TO THE CITY OF STAMFORD AS PART OF FINAL APPROVAL. BY THE ENGINEER AND ACCEPTANCE BY REGULATING AUTHORITIES. FIELD LAYOUT, INSPECTION, POST INSTALLATION ANALYSIS, DATA COLLECTION AND AS BUILT DRAWING DEVELOPMENT ARE SEPARATE AND DISTINCT REQUIREMENTS UNDERTAKEN IN ADDITION TO THE SCOPE OF WORK OUTLINED HEREIN. WHERE COMPONENTS HAVE BEEN PLACED OR RENDERED IN CONFLICT WITH THE APPROVED DESIGN, INTENT, AND/OR SUPPLEMENTAL DATA SUBSEQUENTLY APPENDED, THE ERROR(S) SHALL BE CORRECTED, AND IN THIS MATTER THERE SHALL BE NO EXCEPTION GRANTED.
4. ELEVATIONS, PIPING LAYOUT PLANS, DETAILS, AND SIMILAR ITEMS, IDENTIFY SYSTEM COMPONENTS AND THEIR RELATIVE ARRANGEMENT WHICH ARE ESSENTIAL TO THE INTENDED FUNCTIONAL CHARACTERISTICS OF THE DRAINAGE SYSTEM. THERE ARE NO "EXTRA PARTS" OR ANY AMBIGUOUS DIMENSIONS GIVEN, NOR ARE ANY NOTES TO BE CONSIDERED ANYTHING LESS THAN DIRECT SPECIFICATION. WHERE ANY DIMENSION, SPECIFICATION, OR OTHER INSTRUCTION FALLS IN CONFLICT WITH ANOTHER, THE MORE STRINGENT SHALL APPLY.
5. ALL PIPING WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE FASHION, WITH CLEAN, STRAIGHT CUTS, AND FULL DEPTH JOINING AT BELLS / COLLARS.
6. ALL DRAINAGE SYSTEM STRUCTURES SHALL BE SUPPORTED ON A LAYER OF TRAP ROCK NO LESS THAN 6" DEEP.
7. ALL PIPING WORK SHALL BE BACK FILLED AND COMPACTED TO THE SPRING LINE OF THE CONDUIT SPECIFICALLY FOR THE PURPOSE OF INSPECTION AND SHALL BE PLACED IN THIS CONDITION PRIOR TO THE TIME OF INSPECTION BY THE CITY OF STAMFORD AND/OR THE ENGINEER. THIS APPLIES TO THE ENTIRE SYSTEM ALIGNMENT UNLESS OTHERWISE NOTED OR ARRANGED.
8. ALL CONNECTIONS MADE BETWEEN PIPING WORK AND SYSTEM STRUCTURES SHALL BE MADE WITH HIGH STRENGTH MORTAR FOR CONCRETE STRUCTURES, OR WATER TIGHT ADAPTORS FOR HOPE OR PVC STRUCTURES. JOINTS SHALL BE STRUCK FLUSH WITH THE STRUCTURE SURFACE AT INTERIOR AND EXTERIOR FACES. PIPE (EXCLUDING BULKHEAD OPENINGS) SHALL EXCEED 2" - VEILY - BEYOND THE INTERIOR FACE, WHERE PIPE CONNECTS AT AN ANGLE, CUT THE PIPE AT A CORRESPONDING ANGLE AS WELL.
9. UNIT MASONRY CONSTRUCTION, WHERE EVER USED, SHALL BE CONSTRUCTED WITH SOLID BLOCK, BRICK, OR PRE CAST CONCRETE. THE MAXIMUM DIMENSION OF ANY MORTAR JOINT SHALL NOT EXCEED 1-1/2". JOINTS SHALL BE STRUCK FULLY FLUSH REGARDLESS OF FINAL EXPOSURE. MANHOLE COVERS, RISERS, STRUCTURE SECTIONS, AND ALL OTHER COMPONENTS CONNECTED WITH MORTAR SHALL BE SET IN FULL BED APPLICATIONS.
10. UNLESS SPECIFICALLY DESIGNED TO WITHSTAND DESIGN LOADING, ALL KNOCK OUTS IN PRE CAST CONCRETE STRUCTURES SHALL BE FILLED TO THEIR FULL OUTWARD DEPTH WITH UNIT MASONRY.
11. COARSE AGGREGATE SUCH AS TRAP ROCK AND RIP-RAP SHALL BE CRUSHED NATURAL STONE, COMPLIANT WITH THE STATE OF CONNECTICUT, D.O.T. HIGHWAY CONSTRUCTION MANUAL.

NOTES:

1. THE PURPOSE OF THIS PARTIAL LOCATION MAP IS TO DETERMINE THE VIABILITY OF BUILDING A RESIDENCE. IT IS NOT TO BE CONSTRUED AS A COMPLETE LOCATION MAP OF THE PROPERTY THAT MAY BE REQUIRED FOR PERMITTING.
2. PROPERTY IS IN ZONE X, AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) No. 090015 363 F. EFFECTIVE: JUNE 18, 2010.
3. THE LOCATION INFORMATION DEPICTED HEREON WAS ACQUIRED BY FIELD SURVEY ON MARCH 15, 2024.
4. REFERENCE IS MADE TO MAP No. 11179, 11180, 11480 AND 11720 ON FILE IN THE STAMFORD LAND RECORDS.
5. THE OPEN SPACE DEPICTED ON THIS PLAN IS TAKEN FROM PLANS REFERENCED ABOVE.
6. REFERENCE IS MADE TO CITY OF STAMFORD TAX ASSESSOR MAP 22 LOT 004-0002, MAP 22, BLOCK 400 LOT 13.
7. BOUNDARY DETERMINATION / OPINION IS BASED ON A DEPENDENT RESURVEY.
8. ELEVATIONS REFER TO AN ASSUMED DATUM.

UTILITY NOTE:

Underground utilities, facilities and structures have been plotted from surface indications and record sources. The locations of all underground utilities are approximate only. Additionally, there may be other underground utilities the existence of which is presently unknown. Any party utilizing the utility information and data depicted on this survey shall call "CALL BEFORE YOU DIG" at 800-922-4455 a minimum of forty eight (48) hours prior to any construction activities to verify the location of underground utilities.



(IN FEET)
1 inch = 30 ft.
IF SCALING FROM THIS PLAN, VERIFY SCALE WITH THE GRAPHIC SCALE PROVIDED ABOVE.

ZONE: RA-3
AREA = 88,304 SQ. FT. / 2.027 ACRES
SCALE: 1 IN. = 30 FT.

Soil Data

Soil Type	1	2	3	4	5	6	7	8	9
GRANITE BROWN SANDY LOAM	10'-10"	0'-2"	0'-8"	0'-2"	0'-2"	0'-2"	0'-10"	0'-2"	
GRAY SANDY GRAVEL	2'-6"	2'-4"	3'-8"	7'-3"	7'-3"	7'-3"	4'-6"	3'-6"	
DARK BROWN SILTY LOAM	-	-	-	-	-	-	-	-	
BROWN SILTY LOAM W/ MOTTLES	-	-	-	-	-	-	-	-	
HARDPAN	2'-4"	2'-4"	3'-6"	3'-2"	3'-6"	3'-6"	3'-6"	3'-6"	
SMITTLING	-	-	-	-	-	-	-	-	
AUW	-	-	-	-	-	-	-	-	
LEDGE	6'-0"	4'-8"	6'-4"	6'-8"	6'-1"	6'-8"	6'-2"	6'-0"	
ROCKS	-	-	-	-	-	-	-	-	

13 SOUTH BROOK DRIVE - ADAM AGLIETTI

EARTH CUT/FILL	1,100 CYD FILL, 900 CYD CUT
TOPSOIL STOCKPILE	400 CYD

EARTH CUT NOT REPLACED AS FILL IS TO BE REMOVED FROM SITE. TOPSOIL NOT USED FOR LANDSCAPE IS TO BE REMOVED FROM SITE. NOTE: EARTHWORKS QUANTITIES ARE ESTIMATES FOR PERMITTING ONLY.

ENGINEER'S SEAL



11/12/2024	REVISIONS PER DPW AND EPB COMMENTS	R.W.F. R.D.S.
No. DATE	DESCRIPTION	DWG CHK'D

PROJECT NAME: **PROPOSED SITE DEVELOPMENT PLAN ON PROPERTY OF ADAM AGLIETTI 13 SOUTH BROOK DRIVE CONNECTICUT**

PROPOSED SITE PLAN

SCALE: 1" = 30'	MUNICIPALITY: STAMFORD	SHEET No. 4	S.E. MINOR & CO., INC. ESTABLISHED 1887 Engineering • Land Surveying Environmental Scientists
DATE: JULY 23, 2024	COUNTY: FAIRFIELD	TAX ACCOUNT No. 004-0002	33 West Elm Street Greenwich, Connecticut 06830 203-869-0136 www.seminor.com

FILE No. STAMFORD COMPARED C.F.S. & J.A.M.

PRINTS NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL.

Standard City of Stamford Notes:

- 1. A Street Opening Permit is required for all work within the City of Stamford Right-of-Way.
2. All work within the City of Stamford Right-of-Way shall be constructed to City of Stamford requirements, the State of Connecticut Basic Building Code and the Connecticut Guidelines for Soil Erosion and Sedimentation Control.
3. The Engineering Bureau of the City of Stamford shall be notified three days prior to any commencement of construction or work within the City of Stamford Right of-Way.
4. Trees within the City of Stamford Right-of-Way to be removed shall be posted in accordance with the Tree Ordinance.
5. Prior to any excavation the Contractor and/or Applicant/Owner, in accordance with Public Act 77-350, shall be required to contact "Call Before You Dig" at 1-800-922-4455 for mark out of underground utilities.
6. All retaining walls three (3) feet or higher measured from finished grade at the bottom of the wall to finished grade at the top of the wall and retaining walls supporting a surcharge or impounding Class I, II or III-A liquids are required to have a Building Permit. Retaining walls shall be designed and inspected during construction by a Professional Engineer licensed in the State of Connecticut. Prior to the issuance of a Certificate of Occupancy, retaining walls shall be certified by a Professional Engineer licensed in the State of Connecticut.
7. Certification will be required by a professional engineer licensed in the State of Connecticut that work has been completed in compliance with the approved drawings.
8. A Final Improvement Location Survey will be required by a professional land surveyor licensed in the State of Connecticut.
9. Connection to a city-owned storm sewer shall require the Waiver Covering Storm Sewer Connection to be filed with the City of Stamford Engineering Bureau.
10. Granite block or other decorative stone or brick, depressed curb, driveway apron and curbing within the City of Stamford Right-of-Way shall require the Waiver Covering Granite Block Depressed Curb and Driveway Aprons to be filed with the City of Stamford Engineering Bureau.
11. Sediment and erosion controls shall be maintained and repaired as necessary throughout construction until the site is stabilized. At the completion of construction, remove sediment and erosion controls once the site is stable.
12. To obtain a Certificate of Occupancy, submittal must include all items outlined in the Checklist for Certificate of Occupancy (Appendix D of the City of Stamford Drainage Manual).
13. Reference EPB Permit #, Zoning Permit #, Zoning Board of Appeals #, Subdivision #, if applicable



LEGEND PROPOSED:

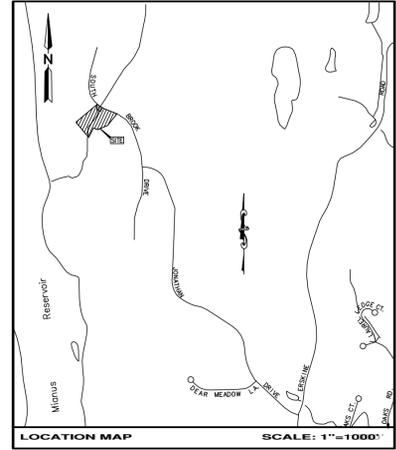
- PROPOSED DRAIN BASIN (grid symbol)
STORM DRAIN MH. (circle with 'D')
RETAINING WALL (thick line)
PROPOSED CONTOURS (dashed line)
PROPOSED SPOT GRADES (numbered circle)
PROPOSED SWALE (line with 'S')
DEEP TEST PIT (circle with 'DT-1')
CONDUCTIVITY TEST (circle with 'CT')
PERCOLATION TEST (circle with 'PT')
PROPOSED PATIO (grid symbol)
PROPOSED BUILDING (hatched symbol)
PROPOSED STORM DRAINAGE MANAGEMENT SYSTEM (dotted symbol)
CONSTRUCTION ENTRANCE (circle with 'CE')
SILT FENCE-GEOTEXTILE (line with 'x')
CONSTRUCTION FENCE (line with 'CF')
TREE PROTECTION (circle with 'TP')
STOCKPILE AREA (circle with 'SS')
INLET PROTECTION (circle with 'IP')

Table with 3 columns: Description, Value, and Unit. Includes PR. BUILDING COVERAGE, RA-3, 88,304 x 0.10 = 8,830 SQ. FT., RESIDENCE = 2,793 SQ. FT., 8,830 - 2,793 = 6,037 SQ. FT. REMAINING.



WETLANDS AS FLAGGED BY JIM M. MAMAMUS, CERTIFIED SOIL SCIENTIST, JIM WETLAND CONSULTING SERVICES, JAN. 4, 2024. S.E. MINOR & CO., INC. TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE WETLAND BOUNDARY AS DETERMINED BY THE SOIL SCIENTIST.

Table with 3 columns: Area Name, Area (SQ. FT.), Area (ACRES). Includes BROOK AREA (6,210 SQ. FT., 0.143 ACRES), WETLANDS AREA (23,837 SQ. FT., 0.547 ACRES), UPLAND REVIEW AREA (41,350 SQ. FT., 0.949 ACRES), AREA OUTSIDE OF UPLAND REVIEW AREA (16,907 SQ. FT., 0.388 ACRES), PROPOSED AREA TO BE DISTURBED (21,000 SQ. FT., 0.482 ACRES).



MAP BLOCK LOT 22 400 13

GENERAL SEDIMENTATION AND EROSION CONTROL NOTES

- 1. A SEDIMENT BARRIER WILL BE ERRECTED AROUND THE DOWN SLOPE PERIMETER OF ALL CONSTRUCTION ACTIVITIES. IN ADDITION TO THOSE SHOWN ON THE PLAN, ADDITIONAL CONTROLS WILL BE INSTALLED AS DEEMED NECESSARY BY THE GENERAL CONTRACTOR IN RESPONSE TO SITE CONDITIONS.
2. CUT AND/OR FILL SLOPES OF GREATER THAN 2 ON 1 REMAINING IN ROUGH GRADE WILL BE MULCHED AND SEEDED.
3. THE AMOUNT OF NATURAL VEGETATION REMOVED WILL BE MINIMIZED. ALL DISTURBED AREAS NOT SCHEDULED FOR CONSTRUCTION WITHIN 60 DAYS WILL BE MULCHED WITH UNROTTED STRAW OR HAY AND SEEDED. MULCH WILL BE APPLIED AT 90 LBS. PER 1000 SQ. FT.
4. ALL STOCKPILES LEFT FOR MORE THAN 1 MONTH WILL BE VEGETATED.
5. AT LEAST 100 FEET OF SILT FENCE AND 50 FT. OF HAYBALES WILL BE STOCKPILED ON SITE FOR EMERGENCY USE.
6. SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE PLACED IN AN APPROVED UPLAND SITE, A SUFFICIENT DISTANCE FROM ALL CONTROLLED ENVIRONMENTS.
7. UPON FINAL GRADING THE OPEN SOIL HORIZONS ARE TO BE IMMEDIATELY PLACED IN SEED. OPTIMUM SUCCESS IN ESTABLISHING PLANTS ON SLOPES IS ACHIEVED WHERE SLOPE ANGLES DO NOT EXCEED 3 HORIZONTAL TO ONE VERTICAL. THESE SOILS SHOULD NOT CONTAIN GREATER THAN 8% CLAY.
8. CONSTRUCTION ENVELOPES ARE TO BE DELINEATED WITH HIGH VISIBILITY BARRICADE TAPE, SNOW FENCE OR PLASTIC NETTING.
9. TREES IN A CLOSE PROXIMITY TO CONSTRUCTION ACTIVITIES ARE TO BE PROTECTED WITH SNOW FENCE OR A COMPARABLE BARRIER PLACED AT THE DRIFLINE.
10. A TRACKING PAD OF 1 1/2" STONE WILL BE PLACED AT THE CONSTRUCTION ROAD ENTRANCE (SEE DETAIL).
11. UTILITY TRENCHES ARE TO BE COMPLETED, SEEDED AND MULCHED WITHIN 15 DAYS AFTER BACKFILL.
12. ANY DISTURBED AREA NOT PAVED, SODDED OR BUILT UPON BY NOVEMBER 1ST IS TO BE SEEDED ON THAT DATE WITH OATS, ABRUZZI RYE, OR EQUIVALENT AND MULCHED WITH HAY OR STRAW.
13. DRAINAGE OUTLETS ARE TO BE PROTECTED WITH SPLASH GUARDS OR STONE AND/OR LEVEL SPREADERS.
14. ALL EROSION CONTROL DEVICES SHALL BE INSPECTED EVERY TWO WEEKS AND/OR AFTER EVERY RAIN STORM OF 0.5" OR GREATER.
15. METHODS FOR PROPER DESIGN AND INSTALLATION OF CONTROL MEASURES MAY BE FOUND IN THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, PUBLISHED SEPTEMBER 30, 2024, AND EFFECTIVE MARCH 30, 2024.

REGULATORY REQUIREMENTS AND GENERAL NOTES

- 1. THE CITY OF STAMFORD REQUIRES ALL UNDERGROUND PIPES AND DRAINAGE STRUCTURES BE LOCATED BOTH VERTICALLY AND HORIZONTALLY BY FIELD SURVEY PRIOR TO BACKFILLING. THIS WORK MUST BE PERFORMED BY A PROFESSIONAL ENGINEER OR LAND SURVEYOR REGISTERED IN THE STATE OF CONNECTICUT. THE ONLY EXCEPTIONS TO THIS ARE FOOTING DRAINS, WHERE ONLY THE COLLECTION POINT(S) CONNECTING TO THE PRIMARY SITE DRAINAGE SYSTEM MUST BE LOCATED. A LETTER VERIFYING THAT THE DRAINAGE INSTALLATIONS ARE IN COMPLIANCE WITH APPROVED PLANS, MUST BE SUBMITTED TO THE BUILDING DEPARTMENT ALONG WITH A SITE "AS-BUILT" PLAN BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED. THE LETTER AND PLAN MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF CONNECTICUT. S.E. MINOR & CO., INC. REQUIRES A MINIMUM OF 3 WORKING DAYS PRIOR NOTICE TO SCHEDULE THESE DRAINAGE VERIFICATION SURVEYS.
2. UNDERGROUND UTILITIES, FACILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM SURFACE INDICATIONS AND RECORD SOURCES. THE LOCATIONS OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. ADDITIONALLY, THERE MAY BE OTHER UNDERGROUND UTILITIES THE EXISTENCE OF WHICH IS PRESENTLY UNKNOWN. ANY PARTY UTILIZING THE UTILITY INFORMATION AND DATA DEPICTED ON THIS SURVEY SHALL CALL "CALL BEFORE YOU DIG" AT 800-922-4455 A MINIMUM OF FORTY EIGHT (48) HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES.
3. ANY ENCOUNTERED DRAIN, PIPE, GRAVEL TRENCH, BOX CULVERT, ETC. WILL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER WHO WILL DETERMINE EITHER THE CORRECT WAY TO CONNECT THE DRAIN TO THE PROPOSED SYSTEM OR THE CORRECT PIPE ABANDONMENT PROCEDURE. THE PROJECT ENGINEER SHALL NOTIFY ALL NECESSARY AUTHORITIES UPON FINDING OF ANY DRAINS.

SEPTIC NOTE:

- 1. THIS PROPOSAL MAY INCLUDE THE DESIGN OF INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEM(S) FOR THE SUBJECT PROPERTY AND/OR EACH OF THE INDIVIDUAL LOTS. THE PROPOSED DESIGN(S) MUST BE APPROVED BY THE STAMFORD HEALTH DEPARTMENT. THE REQUIRED "PERMIT TO CONSTRUCT" MUST BE ISSUED FOR EACH LOT BY THE STAMFORD HEALTH DEPARTMENT PRIOR TO ANY CONSTRUCTION OF THE PROPOSED SEPTIC SYSTEMS. THE CITY OF STAMFORD ALSO REQUIRES ALL UNDERGROUND SEPTIC SYSTEM PIPES, STRUCTURES AND COMPONENTS BE LOCATED BOTH VERTICALLY AND HORIZONTALLY BY FIELD SURVEY PRIOR TO BACKFILLING. THIS WORK MUST BE PERFORMED UNDER THE INSPECTION OF A PROFESSIONAL ENGINEER AND LOCATED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CONNECTICUT OR THEIR DESIGNEE. ALL WORK MUST BE INSPECTED BY A CITY HEALTH DEPARTMENT INSPECTOR AND THE PROJECT ENGINEER OR THEIR DESIGNEE. A LETTER VERIFYING THAT THE SEPTIC INSTALLATIONS ARE IN COMPLIANCE WITH THE APPROVED PLANS AND PERMIT CONDITIONS MUST BE SUBMITTED TO THE STAMFORD HEALTH DEPARTMENT ALONG WITH A SEPTIC OR SITE "AS-BUILT" PLAN FOR EACH LOT BEFORE A "PERMIT TO DISCHARGE" WILL BE ISSUED. THE LETTER MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER, AND THE "AS-BUILT" PLAN MUST BE SIGNED BY A PROFESSIONAL ENGINEER AND A LAND SURVEYOR REGISTERED IN THE STATE OF CONNECTICUT. S.E. MINOR & CO., INC. REQUIRES A MINIMUM OF 3 WORKING DAYS PRIOR NOTICE TO SCHEDULE THESE SEPTIC VERIFICATION SURVEYS.

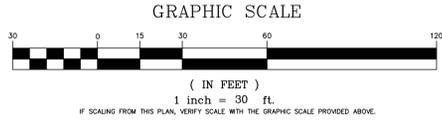
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Table with 2 columns: Description and Quantity. Includes EARTH CUT/FILL (1,100 CYD FILL, 900 CYD CUT), TOPSOIL STOCKPILE (400 CYD).

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ZONE: RA-3 AREA = 88,304 SQ. FT. / 2.027 ACRES

SCALE: 1 IN. = 30 FT.

THE TOPOGRAPHIC AND VERTICAL CLASSES OF ACCURACY FOR THIS SURVEY ARE IN ACCORDANCE WITH THE STANDARDS OF A CLASS "T-2" SURVEY AS DEFINED IN "THE RECOMMENDED STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT," EFFECTIVE JUNE 26, 1996

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS "SUBSTANTIALLY CORRECT" AS NOTED HEREON.



BY: [Signature] FOR:



Engineering drawing title block for 'EROSION CONTROL PLAN' on property of Adam Aglietti, 13 South Brook Drive, Stamford, Connecticut. Includes revision table, drawing title, scale (1"=30'), date (July 23, 2024), and engineer information (S.E. Minor & Co., Inc.).

UNLESS OTHERWISE INDICATED ALL DETAILS ARE NOT TO SCALE

PRINTS NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL

Maintenance Service

As further defined below, all stormwater components should be checked on a periodic basis and kept in full working order. Ultimately, the required frequency of inspection and service will depend on rainfall quantities, pollutant loading, and clogging due to debris. At a minimum, we recommend that all stormwater components be inspected and serviced twice per year, once before winter begins and once during spring cleanup.

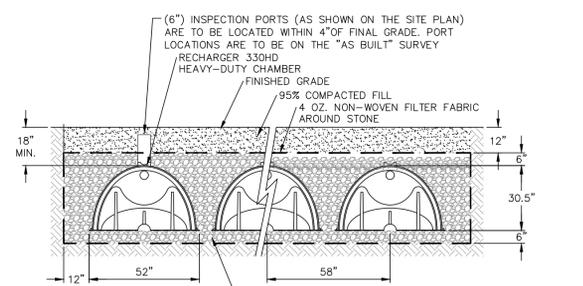
Qualified Inspector:
The inspections must be completed by an individual experienced in the construction and maintenance of stormwater drainage systems. Once every five years the inspections must be completed by a professional engineer.

Service Procedures:

- Catch Basins & Drainage Inlets**
 - Catch basins and drainage inlets shall be completely cleaned of accumulated debris and sediments at the completion of construction.
 - For the first year, catch basins and drainage inlets shall be inspected on a quarterly basis.
 - Any accumulated debris within the catch basins/inlets shall be removed and any repairs as required.
 - From the second year onward, visual inspections shall occur twice per year, once in the spring and once in the fall, after fall cleanup of leaves has occurred.
 - Accumulated debris within the catch basins/inlets shall be removed and repairs made as required.
 - Accumulated sediments shall be removed at such time that they are within 12 inches of the lower of the outlet pipe.
 - Any additional maintenance required per the manufacturer's specifications shall also be completed.
- Storm Drainage Piping and Manholes/Junction Boxes**
 - All storm drainage piping shall be completely flushed of debris and accumulated sediment at the completion of construction.
 - Manhole/Junction Boxes shall be inspected and repaired on an annual basis.
 - Unless system performance indicates degradation of piping, comprehensive video inspection of storm drainage piping shall occur once every ten years.
 - Any additional maintenance required per the manufacturer's specifications shall also be completed.
- Stormwater Control Structures**
 - All control structures (office, weir, etc.) shall be completely cleaned of accumulated debris and sediments at the completion of construction. Any repairs shall be performed.
 - For the first year, control structures (office, weir, etc.) shall be inspected on a quarterly basis.
 - Any accumulated debris shall be removed and any repairs made to the control structures (office, weir, etc.) as required.
 - From the second year onward, visual inspections shall occur twice per year, once in the spring and once in the fall, after fall cleanup of leaves has occurred.
 - Accumulated debris shall be removed and repairs made as required.
 - Any repairs shall be promptly reported and the source of the problem shall be identified and corrected.
 - Any additional maintenance required per the manufacturer's specifications shall also be completed.
- Drainage Outfalls/Slope Protection/Retaining Walls/Spillways**
 - All outfalls shall be completely cleaned of accumulated debris and sediments at the completion of construction. Any repairs to outlet protection material (rip rap) shall be performed.
 - For the first year, outfalls shall be inspected on a quarterly basis.
 - Any accumulated debris shall be removed and any repairs made to the outfalls as required.
 - From the second year onward, visual inspections shall occur twice per year, once in the spring and once in the fall, after fall cleanup of leaves has occurred.
 - Accumulated debris shall be removed and repairs made as required.
 - Any repairs shall be promptly reported and the source of the problem shall be identified and corrected.
 - Any additional maintenance required per the manufacturer's specifications shall also be completed.
- Bioretention/Infiltration Basins and Rain Gardens**
 - Bioretention/infiltration basins and rain gardens shall be cleaned of debris and sediments upon the completion of construction. Any filter media (bio-retention) used in the system shall be inspected and replaced as needed on a quarterly basis.
 - The filter media (bio-retention soil) shall be visually inspected on a monthly basis for the first 6 months. Any erosion or displacement of the filter media (bio-retention soil) shall be promptly reported and the source of the problem shall be identified and corrected. Monthly inspections shall continue until successful operation of the system is confirmed.
 - Bioretention/infiltration areas and rain gardens with grass shall not be mowed more than twice during the growing season, preferably only in late October. More frequent mowing will eliminate native flora and sodas from the meadow cover.
 - Bioretention/infiltration areas and rain gardens with switch grass shall be inspected during spring cleanup and one just prior to the winter season.
 - All dead plants and missing mulch shall be replaced and any necessary pruning of vegetation shall be completed.
 - The surface of these structures shall be inspected on a quarterly basis after the month of successful operation and after heavy runoff events (e.g. >3.0" in a 24-hour period). One inspection shall occur immediately following the completion of winter sanding and subsequent sweeping operations, and one shall occur just prior to winter season. All accumulated debris shall be removed and any repairs made to the surface as required.
 - Check drainage lines of bioretention/infiltration areas and rain gardens annually. Check within 72 hours after a minimum one inch rain event. If there is no standing water, infiltration is acceptable. If standing water is present, determine the cause. Use a shovel to dig a hole to determine if there is a clog or if the water level after a significant storm. If infiltration rate < 0.5 in. hour, remedial action shall be taken.
 - A soil core investigation may be used to identify the clogged portion of stormwater factor and depth of clogging. Remedial measures may include removal of clogged soil layer and replacement with suitable media, aeration, and mixing upper strata with lower soil strata. After corrective measures have been implemented, infiltration rate and drainage time shall be re-tested.
- Drainage and Infiltration Systems**
 - All drainage/infiltration systems shall be completely cleaned of accumulated debris and sediments upon the completion of construction.
 - For the first year, the drainage/infiltration systems shall be inspected on a quarterly basis.
 - Any accumulated debris within the drainage/infiltration systems shall be removed and any repairs made to the units as required.
 - From the second year onward, visual inspection shall occur twice per year, once in the spring and once in the fall, after fall cleanup of leaves has occurred.
 - Accumulated debris within the units shall be removed and repairs made as required.
 - Any repairs shall be promptly reported and the source of the problem shall be identified and corrected.
 - Any additional maintenance required per the manufacturer's specifications shall also be completed.
- Roof Outlets**
 - Remove accumulated debris and inspect for damage. Any damage should be repaired as required.

Disposal of Debris and Sediment

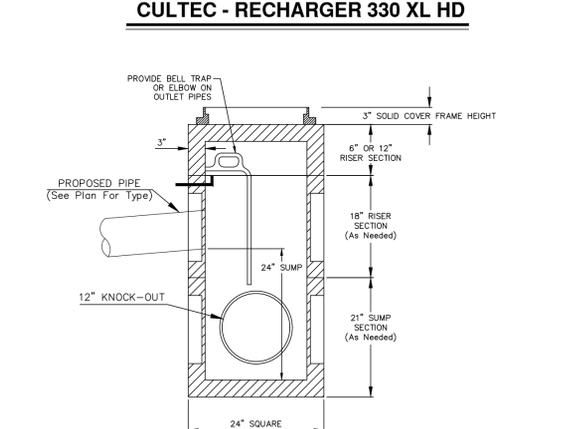
All debris and sediment removed from the stormwater structures and bioretention/infiltration basins shall be disposed of legally. There shall be no dumping of soil or debris into or in proximity to any inland or tidal wetlands.



SCARIFY/TILL SUBGRADE AS NEEDED TO PROMOTE INFILTRATION

GENERAL NOTES
RECHARGER 330XLHD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT.
330 CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

CULTEC - RECHARGER 330 XL HD

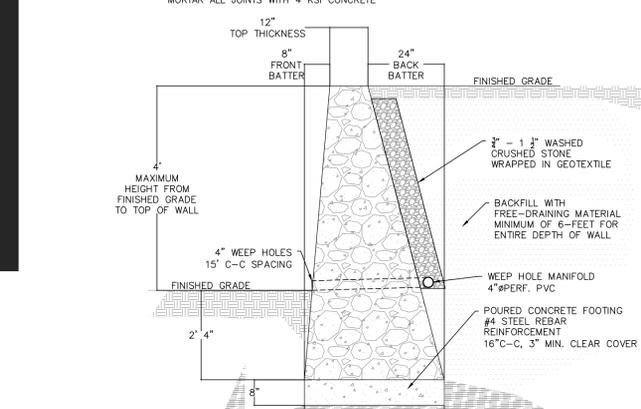


24" X 24" PRECAST CONCRETE JUNCTION BOX WITH SOLID COVER: SEE SITE PLAN FOR SPECIFIC ELEVATIONS



STONE SIZES

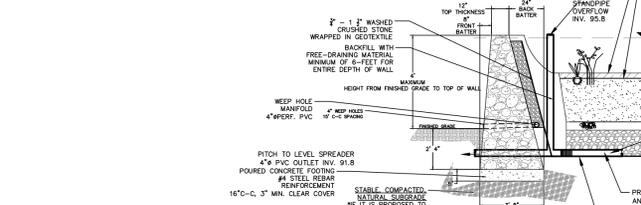
MAX. LENGTH: 36"	MAX. THICKNESS: 15"
MIN. LENGTH: 18"	MIN. THICKNESS: 6"
	MAX. VERTICAL JOINT: 20"
	MORTAR ALL JOINTS WITH 4 KSI CONCRETE



4' RETAINING WALL DETAIL



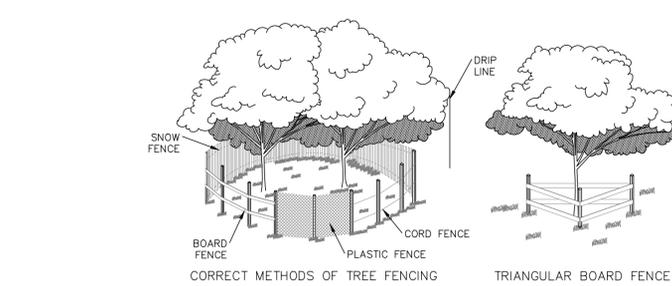
30 FT. LEVEL SPREADER



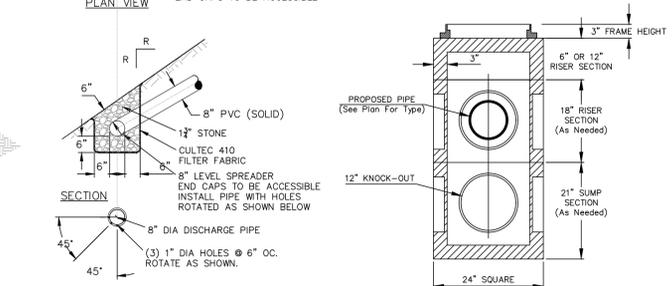
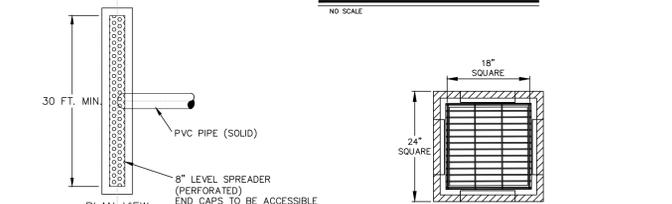
RAIN GARDEN No. 1 PLANTING LIST

Common Name	Botanical Name	Size
Summerweet	Ostrya Albidifolia	30-36" TALL
Blue Oak	Quercus Spicifolia	30-36" TALL
Blackberry	Rubus Sp.	30-36" TALL
Blackberry	Rubus Sp.	30-36" TALL
Blackberry	Rubus Sp.	30-36" TALL
Blackberry	Rubus Sp.	30-36" TALL
Blackberry	Rubus Sp.	30-36" TALL
Blackberry	Rubus Sp.	30-36" TALL
Blackberry	Rubus Sp.	30-36" TALL
Blackberry	Rubus Sp.	30-36" TALL

RAINGARDEN DETAIL



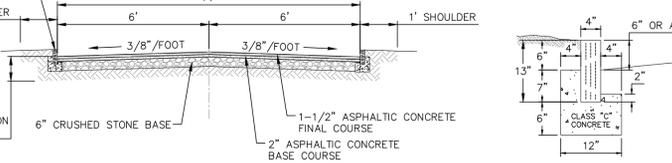
TREE PROTECTION



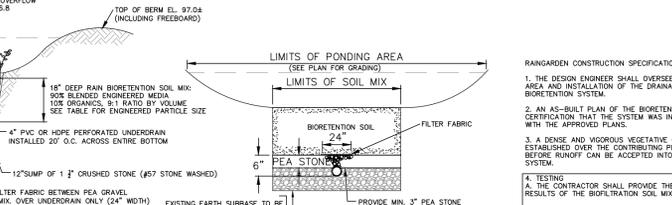
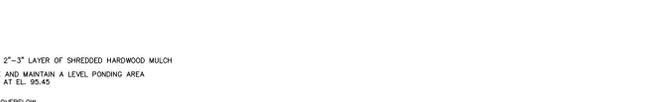
30 FT. LEVEL SPREADER



13' WIDE ASPHALT DRIVE



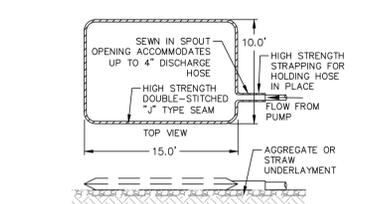
STONE CURB



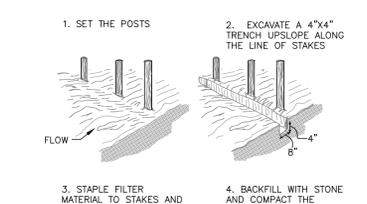
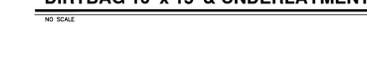
ENGINEER'S MEDIA BEND

Gravel	2.0 - 3.4 mm	Not more than 10% of the total particles in this range, including a maximum of 3% fine gravel (preferably none)
Very Coarse Sand	1.0 - 2.0 mm	
Coarse Sand	0.5 - 1.0 mm	Minimum of 50% of the particles must fall in this range
Medium Sand	0.25 - 0.50 mm	
Fine Sand	0.15 - 0.25 mm	Not more than 20% of the total particles may fall within this range
Very Fine Sand	0.05 - 0.15 mm	Not more than 5%
Silt	0.002 - 0.075 mm	Not more than 5%
Clay	LESS THAN 0.002 mm	Not more than 5%
TOTAL FINES	VERY FINE SAND & SILT-CLAY	Less than or equal to 10%

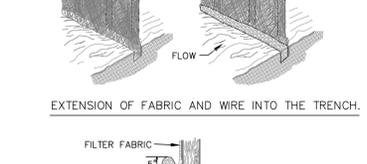
RAINGARDEN DETAIL



DIRTBAG 10' X 15' & UNDERLAYMENT



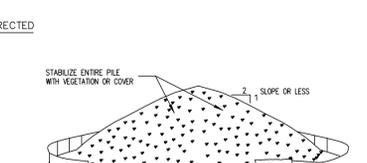
CONSTRUCTION ENTRANCE: 20FT MIN.



SILT FENCE BARRIER WIRE REINFORCED WITH STONE BERM



STONE STOCKPILING



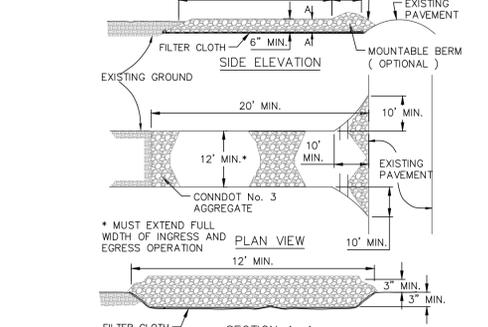
RAINGARDEN CONSTRUCTION SPECIFICATIONS

- THE DESIGN ENGINEER SHALL OVERSEE THE PREPARATION OF THE AREA AND INSTALLATION OF THE DRAINAGE COMPONENTS TO THE BIORETENTION SYSTEM.
- AN AS-BUILT PLAN OF THE BIORETENTION SYSTEM ALONG WITH A CERTIFICATION THAT THE SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.
- A DENSE AND VIGOROUS VEGETATIVE COVER SHALL BE ESTABLISHED OVER THE CONTRIBUTING PERVIOUS DRAINAGE AREAS BEFORE RUNOFF CAN BE ACCEPTED INTO THE BIORETENTIONS SYSTEM.
- TESTING:
 - THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH SOIL TEST RESULTS OF THE BIOPILTRATION SOIL MIX PRIOR TO PLACEMENT.
 - THE TESTS INCLUDE:
 - "TOTAL PHOSPHORUS" TEST (PHOSPHORUS INDEX OF 0-30)
 - "SIEVE" ANALYSES FOR ENGINEERED MEDIA (U.S. GOLF ASSOCIATION PUTTING GREEN SOIL SPEC)
- EROSION CONTROL:
 - THE BIORETENTION SYSTEM SHALL BE FENCED OFF DURING CONSTRUCTION TO PREVENT DISTURBANCE OF SOILS.
 - CONTRACTOR TO AVOID THE USE OF HEAVY EQUIPMENT DURING CONSTRUCTION ON AREAS WHERE BIORETENTION SYSTEMS ARE TO BE INSTALLED.
 - THE EXCAVATION FOR THE BIORETENTIONS AREA SHALL MEET THE DIMENSIONS SHOWN ON THE SITE PLAN AND DETAIL.
 - THE SOIL MIX SHALL BE PLACED ON NATIVE UNCOMPACTED SOILS IN 12" UNCOMPACTED LIFTS. THE NATIVE SOIL SHALL BE SCARIFIED OR TILLED TO IMPROVE INFILTRATION. THE SOIL MIX CAN BE EXPECTED TO SETTLE, AN ADDITIONAL (2") CAN BE PLACED FOR SETTLING.
 - THE CONTRACTOR SHALL FOLLOW LANDSCAPE ARCHITECT'S PLANTING PLAN AND THE TOWN OF GREENWICH "CONSTRUCTION SPECIFICATIONS" AS OUTLINED IN APPENDIX C OF THE DRAINAGE MANUAL FEBRUARY 2012.

INLET PROTECTION



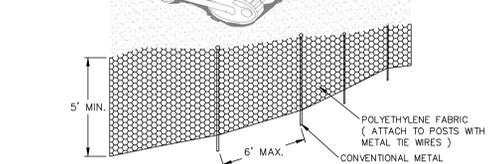
INLET PROTECTION



CONSTRUCTION ENTRANCE: 20FT MIN.



SILT FENCE BARRIER WIRE REINFORCED WITH STONE BERM



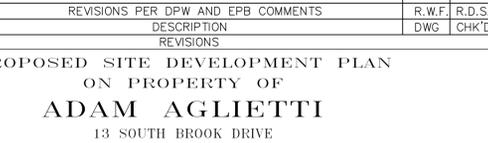
STONE STOCKPILING



RAINGARDEN CONSTRUCTION SPECIFICATIONS

- THE DESIGN ENGINEER SHALL OVERSEE THE PREPARATION OF THE AREA AND INSTALLATION OF THE DRAINAGE COMPONENTS TO THE BIORETENTION SYSTEM.
- AN AS-BUILT PLAN OF THE BIORETENTION SYSTEM ALONG WITH A CERTIFICATION THAT THE SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.
- A DENSE AND VIGOROUS VEGETATIVE COVER SHALL BE ESTABLISHED OVER THE CONTRIBUTING PERVIOUS DRAINAGE AREAS BEFORE RUNOFF CAN BE ACCEPTED INTO THE BIORETENTIONS SYSTEM.
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INLET PROTECTION



INLET PROTECTION



1. 11/12/2024 REVISIONS PER DPW AND EPB COMMENTS R.W.F. R.D.S. No. DATE DESCRIPTION DWG CHK'D

PROJECT NAME: PROPOSED SITE DEVELOPMENT PLAN ON PROPERTY OF ADAM AGLIETTI 13 SOUTH BROOK DRIVE STAMFORD CONNECTICUT

DRAWING TITLE: DETAIL AND NOTES

SCALE: 1" = 30' MUNICIPALITY: STAMFORD COUNTY: FAIRFIELD SHEET No. 6 OF 8 S.E. MINOR & CO., INC. ESTABLISHED 1887 Engineering • Land Surveying Environmental Scientists 33 West Elm Street Greenwich, Connecticut 06830 203-859-0136 www.seminor.com

CHECKED: R.D.S. TAX ACCOUNT No. 004-0002 APPROVED: C.F.S. FILE NAME: Y:\Data\Property Files\Stamford\13 S\004\004-0002 South Brook Drive Lot #13

FILE No. STAMFORD COMPARED C.F.S. & J.A.M.

PRINTS NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL.

- Standard City of Stamford Notes:**
1. A Street Opening Permit is required for all work within the City of Stamford Right-of-Way.
 2. All work within the City of Stamford Right-of-Way shall be constructed to City of Stamford requirements, the State of Connecticut Basic Building Code and the Connecticut Guidelines for Soil Erosion and Sedimentation Control.
 3. The Engineering Bureau of the City of Stamford shall be notified three days prior to any commencement of construction or work within the City of Stamford Right of-Way.
 4. Trees within the City of Stamford Right-of-Way to be removed shall be posted in accordance with the Tree Ordinance.
 5. Prior to any excavation the Contractor and/or Applicant/Owner, in accordance with Public Act 77-350, shall be required to contact "Call Before You Dig" at 1-800-922-4455 for mark out of underground utilities.
 6. All retaining walls three (3) feet or higher measured from finished grade at the bottom of the wall to finished grade at the top of the wall and retaining walls supporting a surcharge or impounding Class I, II or III-A liquids are required to have a Building Permit. Retaining walls shall be designed and inspected during construction by a Professional Engineer licensed in the State of Connecticut. Prior to the issuance of a Certificate of Occupancy, retaining walls shall be certified by a Professional Engineer licensed in the State of Connecticut.
 7. Certification will be required by a professional engineer licensed in the State of Connecticut that work has been completed in compliance with the approved drawings.
 8. A Final Improvement Location Survey will be required by a professional land surveyor licensed in the State of Connecticut.
 9. Connection to a city-owned storm sewer shall require the Waiver Covering Storm Sewer Connection to be filed with the City of Stamford Engineering Bureau.
 10. Granite block or other decorative stone or brick, depressed curb, driveway apron and curbing within the City of Stamford Right-of-Way shall require the Waiver Covering Granite Block Depressed Curb and Driveway Aprons to be filed with the City of Stamford Engineering Bureau.
 11. Sediment and erosion controls shall be maintained and repaired as necessary throughout construction until the site is stabilized. At the completion of construction, remove sediment and erosion controls once the site is stable.
 12. To obtain a Certificate of Occupancy, submittal must include all items outlined in the Checklist for Certificate of Occupancy (Appendix D of the City of Stamford Drainage Manual).
 13. Reference EPB Permit #, Zoning Permit #, Zoning Board of Appeals #, Subdivision #, if applicable

REGULATORY REQUIREMENTS AND GENERAL NOTES:

1. THE CITY OF STAMFORD REQUIRES ALL UNDERGROUND PIPES AND DRAINAGE STRUCTURES BE LOCATED BOTH VERTICALLY AND HORIZONTALLY BY FIELD SURVEY PRIOR TO BACKFILLING. THIS WORK MUST BE PERFORMED BY A PROFESSIONAL ENGINEER OR LAND SURVEYOR REGISTERED IN THE STATE OF CONNECTICUT. THE ONLY EXCEPTIONS TO THIS ARE FOOTING DRAINS, WHERE ONLY THE COLLECTION POINT(S) CONNECTING TO THE PRIMARY SITE DRAINAGE SYSTEM MUST BE LOCATED. A LETTER VERIFYING THAT THE DRAINAGE INSTALLATIONS ARE IN COMPLIANCE WITH APPROVED PLANS, MUST BE SUBMITTED TO THE BUILDING DEPARTMENT ALONG WITH A SITE "AS-BUILT" PLAN BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED. THE LETTER AND PLAN MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF CONNECTICUT. S.E. MINOR & CO., INC. REQUIRES A MINIMUM OF 3 WORKING DAYS PRIOR NOTICE TO SCHEDULE THESE DRAINAGE VERIFICATION SURVEYS.
2. UNDERGROUND UTILITIES, FACILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM SURFACE INDICATIONS AND RECORD SOURCES. THE LOCATIONS OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. ADDITIONALLY, THERE MAY BE OTHER UNDERGROUND UTILITIES THE EXISTENCE OF WHICH IS PRESENTLY UNKNOWN. ANY PARTY UTILIZING THE UTILITY INFORMATION AND DATA DEPICTED ON THIS SURVEY SHALL CALL "CALL BEFORE YOU DIG" AT 800-922-4455 A MINIMUM OF FORTY EIGHT (48) HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES.
3. ANY ENCOUNTERED DRAIN, PIPE, GRAVEL TRENCH, BOX CULVERT, ETC. WILL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER WHO WILL DETERMINE EITHER THE CORRECT WAY TO CONNECT THE DRAIN TO THE PROPOSED SYSTEM OR THE CORRECT PIPE ABANDONMENT PROCEDURE. THE PROJECT ENGINEER SHALL NOTIFY ALL NECESSARY AUTHORITIES UPON FINDING OF ANY DRAINS.

SEPTIC NOTE:

1. THIS PROPOSAL MAY INCLUDE THE DESIGN OF INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEM(S) FOR THE SUBJECT PROPERTY AND/OR EACH OF THE INDIVIDUAL LOTS. THE PROPOSED DESIGN(S) MUST BE APPROVED BY THE STAMFORD HEALTH DEPARTMENT. THE REQUIRED "PERMIT TO CONSTRUCT" MUST BE ISSUED FOR EACH LOT BY THE STAMFORD HEALTH DEPARTMENT PRIOR TO ANY CONSTRUCTION OF THE PROPOSED SEPTIC SYSTEMS. THE CITY OF STAMFORD ALSO REQUIRES ALL UNDERGROUND SEPTIC SYSTEM PIPES, STRUCTURES AND COMPONENTS BE LOCATED BOTH VERTICALLY AND HORIZONTALLY BY FIELD SURVEY PRIOR TO BACKFILLING. THIS WORK MUST BE PERFORMED UNDER THE INSPECTION OF A PROFESSIONAL ENGINEER AND LOCATED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CONNECTICUT OR THEIR DESIGNEE. ALL WORK MUST BE INSPECTED BY A CITY HEALTH DEPARTMENT INSPECTOR AND THE PROJECT ENGINEER OR THEIR DESIGNEE. A LETTER VERIFYING THAT THE SEPTIC INSTALLATIONS ARE IN COMPLIANCE WITH THE APPROVED PLANS AND PERMIT CONDITIONS MUST BE SUBMITTED TO THE STAMFORD HEALTH DEPARTMENT ALONG WITH A SEPTIC OR SITE "AS-BUILT" PLAN FOR EACH LOT BEFORE A "PERMIT TO DISCHARGE" WILL BE ISSUED. THE LETTER MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER, AND THE "AS-BUILT" PLAN MUST BE SIGNED BY A PROFESSIONAL ENGINEER AND A LAND SURVEYOR REGISTERED IN THE STATE OF CONNECTICUT. S.E. MINOR & CO., INC. REQUIRES A MINIMUM OF 3 WORKING DAYS PRIOR NOTICE TO SCHEDULE THESE SEPTIC VERIFICATION SURVEYS.

THE TOPOGRAPHIC AND VERTICAL CLASSES OF ACCURACY FOR THIS SURVEY ARE IN ACCORDANCE WITH THE STANDARDS OF A CLASS "T-2" SURVEY AS DEFINED IN "THE RECOMMENDED STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT." EFFECTIVE JUNE 26, 1996

ZONING LOCATION RE-SURVEY IN ACCORDANCE WITH A CLASS A-2 SURVEY AS SET FORTH IN IN THE STATE OF CONNECTICUT REGULATIONS SECTION 20-300b-1 THROUGH SECTION 20-300b-20

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS "SUBSTANTIALLY CORRECT" AS NOTED HEREON.



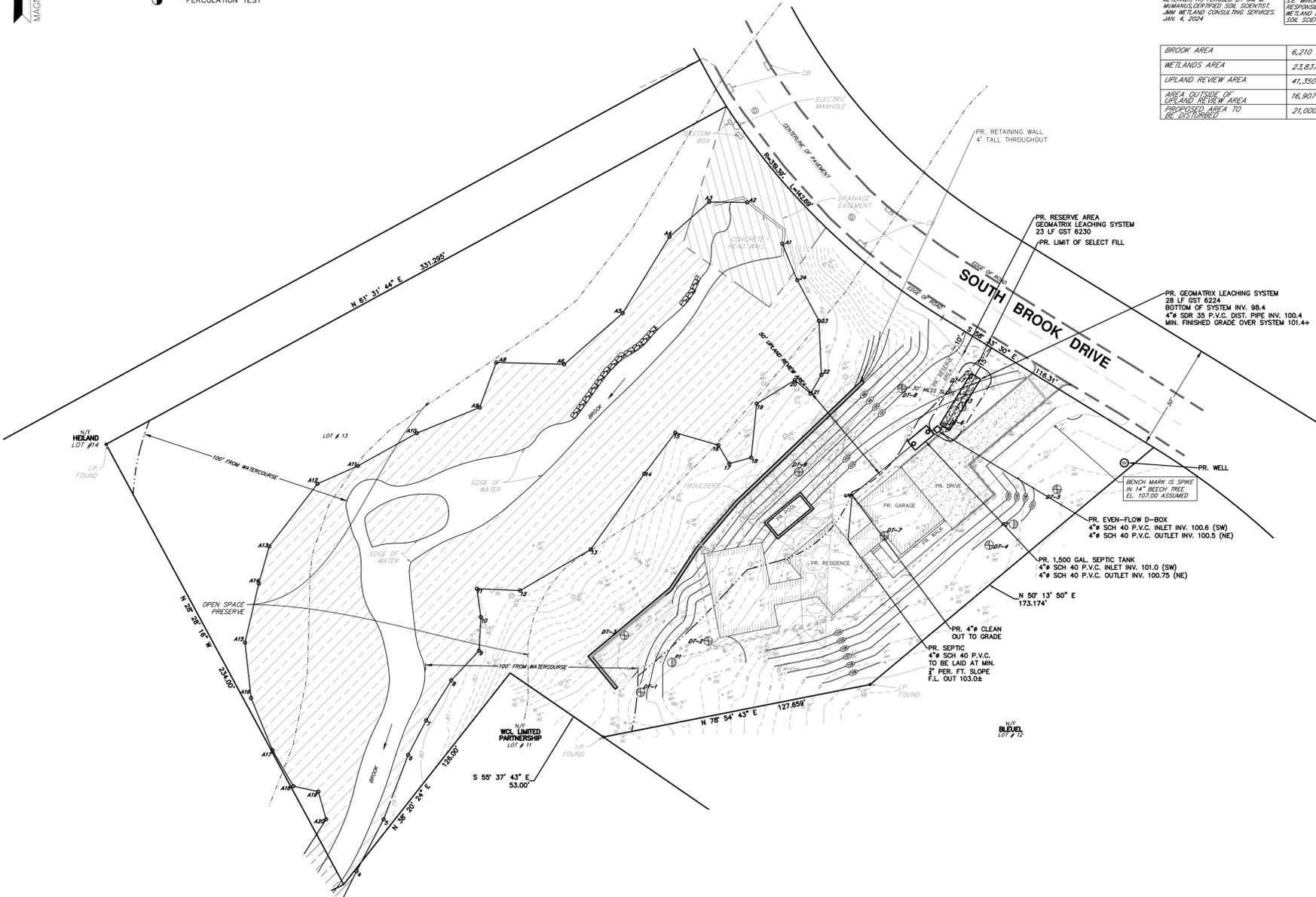
BY: [Signature] FOR:

S. E. MINOR & CO., INC. ENGINEERS & LAND SURVEYORS 33 WEST ELM STREET GREENWICH, CONN. 06830

DATE JULY 2, 2024

LEGEND PROPOSED:

- PROPOSED DRAIN BASIN
- STORM DRAIN MH.
- RETAINING WALL
- PROPOSED CONTOURS
- PROPOSED SPOT GRADES
- PROPOSED SWALE
- DEEP TEST PIT
- CONDUCTIVITY TEST
- PERCOLATION TEST
- PROPOSED PATIO
- PROPOSED BUILDING
- PROPOSED STORM DRAINAGE MANAGEMENT SYSTEM



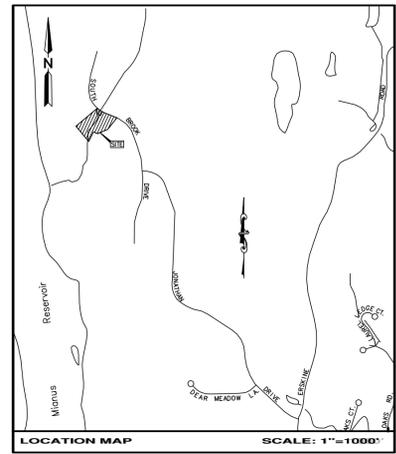
PR. BUILDING COVERAGE :

RA-3	88,304	x 0.10	=	8,830	SQ. FT.
RESIDENCE			=	2,793	SQ. FT.
			=	6,037	SQ. FT. REMAINING

WETLANDS AS FLAGGED BY JIM M. MAHANEY, CERTIFIED SOIL SCIENTIST, JIM WETLAND CONSULTING SERVICES, JAN. 4, 2024.

S.E. MINOR & CO., INC. TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE WETLAND BOUNDARY AS DETERMINED BY THE SOIL SCIENTIST.

BROOK AREA	6,210 SQ. FT.	0.143 ACRES
WETLANDS AREA	23,837 SQ. FT.	0.547 ACRES
UPLAND REVIEW AREA	41,350 SQ. FT.	0.949 ACRES
AREA OUTSIDE OF UPLAND REVIEW AREA PROPOSED AREA TO BE DISTURBED	16,907 SQ. FT.	0.388 ACRES
	21,000 SQ. FT.	0.482 ACRES

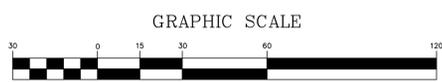


MAP BLOCK LOT 22 400 13

- CITY OF STAMFORD NOTES:**
1. ALL SELECT FILL MATERIAL MUST MEET THE REQUIREMENTS SPECIFIED IN SECTION VIII A OF THE STATE OF CONNECTICUT PUBLIC HEALTH CODE. TECHNICAL STANDARDS. A SEVE ANALYSIS MUST BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO THE INSTALLATION.
 2. FILL SHALL BE PLACED ON THE PERIMETER OF THE TRENCH AREA AND SPREAD WITH A SMALL CRAWLER, TRACTOR OR OTHER APPROVED MACHINERY.
 3. CONTRACTOR SHALL CONTACT THE CERTIFYING ENGINEER AND THE HEALTH DEPARTMENT AT LEAST 24 HOURS PRIOR TO CONSTRUCTION; IF NOT, THE SYSTEM INSTALLATION WILL NOT BE CERTIFIED.
 4. THE STAMFORD HEALTH DEPARTMENT WILL BE NOTIFIED AT LEAST 24 HOURS IN ADVANCE, AT 203-977-5569, THAT JOB CONSTRUCTION WILL BEGIN.
 5. A CONNECTICUT REGISTERED PROFESSIONAL ENGINEER ACCEPTABLE TO THE DIRECTOR OF HEALTH SHALL INSPECT CONSTRUCTION TO INSURE COMPLIANCE WITH THE PROPOSED PLAN.
 6. AN "AS-BUILT" PLAN, CERTIFIED BY A PROFESSIONAL ENGINEER, SHALL BE SUBMITTED TO THE DEPARTMENT OF HEALTH BEFORE A "PERMIT TO USE" IS ISSUED.
 7. IF THE REPLACEMENT AREA IS IN AN AREA OF SPECIAL CONCERN AND THE DESIGN NEEDS TO BE INSTALLED, A LICENSED PROFESSIONAL ENGINEER WILL NEED TO SUBMIT A SEPARATE PROPOSAL TO THE HEALTH DEPARTMENT.

UTILITY NOTE:

Underground utilities, facilities and structures have been plotted from surface indications and record sources. The locations of all underground utilities are approximate only. Additionally, there may be other underground utilities the existence of which is presently unknown. Any party utilizing the utility information and data depicted on this survey shall call "CALL BEFORE YOU DIG" at 800-922-4455 a minimum of forty eight (48) hours prior to any construction activities to verify the location of underground utilities.



(IN FEET) 1 inch = 30 ft. IF SCALING FROM THIS PLAN, VERIFY SCALE WITH THE GRAPHIC SCALE PROVIDED ABOVE.

ZONE: RA-3 AREA = 88,304 SQ. FT. / 2.027 ACRES

SCALE: 1 IN. = 30 FT.

1.	11/12/2024	REVISIONS PER DPW AND EPB COMMENTS	R.W.F.	R.D.S.
No.	DATE	DESCRIPTION	DWG	CHK'D
REVISIONS				
PROJECT NAME: PROPOSED SITE DEVELOPMENT PLAN ON PROPERTY OF ADAM AGLIETTI 13 SOUTH BROOK DRIVE STAMFORD CONNECTICUT				
DRAWING TITLE: PROPOSED SEPTIC PLAN				
SCALE	1" = 30'	MUNICIPALITY	STAMFORD	SHEET No.
DATE	JULY 23, 2024	COUNTY	FAIRFIELD	
DRAWN	R.W.F.	SHEET No.	7 OF 8	
CHECKED	R.D.S.	TAX ACCOUNT No.	004-0002	
APPROVED	C.F.S.			
FILE NAME:	\\3\Data\Property Files\Stamford\Tax ID #004\004-0002 South Brook Drive Lot #13			



S.E. MINOR & CO., INC. ESTABLISHED 1887 Engineering • Land Surveying Environmental Scientists 33 West Elm Street Greenwich, Connecticut 06830 203-869-0136 www.seminor.com

FILE No. STAMFORD COMPARED C.F.S. & J.A.M.

UNLESS OTHERWISE INDICATED ALL DETAILS ARE NOT TO SCALE

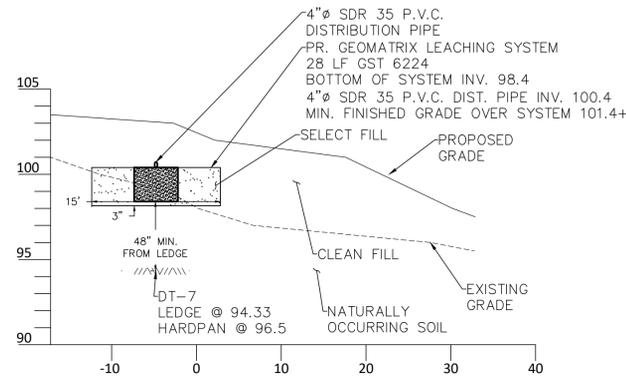
PRINTS NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL

GENERAL CONSTRUCTION NOTES

- DESIGN DATA:
POPULATION: 2 BEDROOM MAIN HOUSE
DESIGN PERC RATE: 1" IN 20.0 MIN
DESIGN FLOW = (2 X 150) = 300 GPD
REQUIRED EFFECTIVE LEACHING AREA: 500.0 SF
USE GEOMATRIX GST6224 @ 28 LF TOTAL LENGTH
TRENCH 1:28 FEET
PROPOSED EFFECTIVE LEACHING AREA = 28 X 18.1 SF/LF = 506.8 SF
- MLSS CALCULATIONS:
DEPTH TO RESTRICTIVE LAYER: 38" (DT=6.7, H) [(36"+36")/2 + 40"]/2 = 38"
AVERAGE SLOPE: 15% (99.5-95.0)/30' = 15%
REQUIRED MLSS = HF X FF X PF = 18 X 1.0 X 1.25 = 22.5 LF
HYDRAULIC FACTOR (HF): 15% AVG. SLOPE, 38" DEPTH TO RESTR. LAYER = 18 (SEE FACTOR TABLE)
FLOW FACTOR (FF): DESIGN FLOW (GPD) 300 / 300 = 1.0 (SEE FACTOR TABLE)
PERCOLATION FACTOR (PF): 1" IN 10.1 TO 20.0 MINUTES/INCH = 1.25 (SEE FACTOR TABLE)
PROPOSED LEACHING SYSTEM SPREAD = 28 LF
- RESERVE AREA:
REQUIRED EFFECTIVE LEACHING AREA: 500.0 SF
PROPOSED EFFECTIVE LEACHING AREA: 23 LF OF GEOMATRIX GST6230 = (23 X 22.1 SF/LF) = 508.3 SF
- PRIOR TO CONSTRUCTION OF THE SEPTIC SYSTEM, THE CONTRACTOR SHALL ENLIST THE SERVICES OF "CALL BEFORE YOU DIG" @ 1-800-922-4455 IN ORDER TO LOCATE ANY UNDERGROUND UTILITIES OR STRUCTURES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE TOWN OF GREENWICH, DEPT. OF HEALTH AT LEAST 24 HOURS PRIOR TO COMMENCING WORK.
- ROTOILL OR CHISEL PLOW THE TOPSOIL PRIOR TO PLACEMENT OF THE SELECT FILL.
- SELECT FILL SHALL CONFORM TO THE STATE OF CONNECTICUT, DEPT. OF TRANSPORTATION SPECIFICATION No. M.02.06, WITH LESS THAN 5% PASSING THE #200 SIEVE.
- PLACEMENT OF SELECT FILL AND OTHER RELATED WORK NECESSARY FOR THE CONSTRUCTION OF THE SEPTIC SYSTEM SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT ADVERSELY COMPACT THE ORIGINAL SUBGRADE.
- ALL SURFACE WATER SHALL BE CHANNLED AWAY FROM THE SEPTIC SYSTEM AREA.
- ALL PHASES OF THE SEPTIC SYSTEM CONSTRUCTION SHALL BE INSPECTED BY A LICENSED PROFESSIONAL ENGINEER, ACCEPTABLE TO THE DIRECTOR OF HEALTH, TO INSURE COMPLIANCE WITH THE APPROVED PLANS.
- UPON COMPLETION OF THE SYSTEM INSTALLATION, AN "AS BUILT" RECORD DRAWING SHALL BE PREPARED BY THE ENGINEER AND SUBMITTED TO THE DIRECTOR OF HEALTH.
- THE AREA SURROUNDING THE SUBJECT SITE IS COMPOSED OF SINGLE FAMILY RESIDENTIAL CONSTRUCTION, SERVED BY PRIVATE WELLS AND INDIVIDUAL SEPTIC SYSTEMS. NO WELL ON ANY LOT ADJACENT TO THE SUBJECT PROPERTY IS WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM.
- THE PROPOSED SEPTIC SYSTEM AREA SHALL BE ROPED OFF PRIOR TO CONSTRUCTION TO PREVENT VEHICLES AND CONSTRUCTION EQUIPMENT FROM DISTURBING THE NATURAL SOIL.
- THE SEPTIC TANK EFFLUENT FILTER SHALL BE RATED TO HANDLE THE DESIGN FLOW OF THE SYSTEM.
- ANY TRENCHES WITHIN 25' FROM THE SEPTIC SYSTEM SHALL NOT BE BACKFILLED WITH FREE DRAINING MATERIAL (MATERIAL THAT IS COARSER THAN THE SURROUNDING SOILS).
- AN IWMA PERMIT MAY BE REQUIRED FOR THIS PROPERTY.

MATERIAL SPECIFICATIONS AND ADDITIONAL NOTES

- LEACHING TRENCHES SHALL BE THE GEOMATRIX GST 6224 WITH AN APPROVED EFFECTIVE LEACHING AREA CAPACITY OF NOT LESS THAN 18.1 SF/LF.
- PIPING MATERIALS SHALL CONFORM TO THE NOMINAL DIAMETERS SHOWN ON THE PLAN AS WELL AS THE FOLLOWING MINIMUM STANDARDS:
FROM DWELLING TO SEPTIC TANK - SCHEDULE 40 PVC ASTM D 1785
FROM SEPTIC TANK TO PUMP CHAMBER - SDR-35 PVC ASTM D 3034
FROM PUMP CHAMBER TO DISTRIBUTION BOX - SCHEDULE 40 PVC ASTM D 1785
FROM DISTRIBUTION BOX TO LEACHING CHAMBERS - SDR-35 PVC ASTM D 3034
WITHIN LEACHING CHAMBERS - SDR-35 PVC ASTM D 3034
- ALL SOLID WALL DISTRIBUTION PIPING SHALL BE INSTALLED IN ACCORDANCE WITH DESIGN DETAILS SHOWN. IN GENERAL, THE MATERIALS AND BACKFILLING METHODS SHALL BE SUCH THAT THE COMPLETED SYSTEM CAN WITHSTAND H-20 LOADING.



13 SOUTH BROOK DRIVE - RESIDENCE SEPTIC SYSTEM					
TRENCH#	EX.GRADE	PR.GRADE	RESTRICTIVE LAYER	TRENCH BOTTOM	D-BOX INV.
1	99.5±	101.4±	DT-7 LEDGE @ 94.33	98.4	100.5

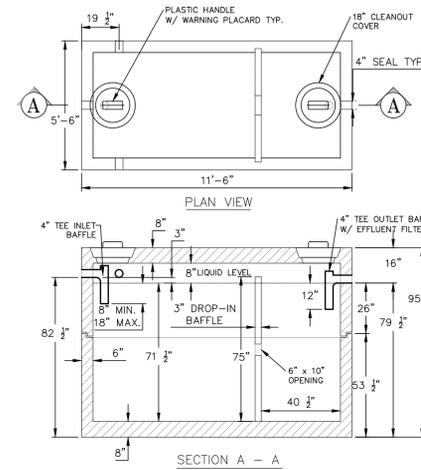
PROPOSED SEPTIC PROFILE

HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 5'

Soil Data	Hole #	Hole #								
		1	2	3	4	5	6	7	8	9
TOP SOIL		0"-10"	0"-7"	0"-8"	0"-7"	0"-7"	0"-7"	0"-7"	0"-10"	0"-7"
ORANGE BROWN SANDY LOAM		10"-24"	7"-24"	8"-36"	7"-36"	7"-32"	7"-36"	7"-36"	10"-40"	7"-36"
GRAY SANDY GRAVEL		24"-60"	24"-48"	36"-64"	36"-68"	32"-61"	36"-68"	36"-62"	40"-69"	36"-60"
DARK BROWN SILTY LOAM		-	-	-	-	-	-	-	-	-
BROWN SILTY LOAM W/ MOTTLES		-	-	-	-	-	-	-	-	-
HARDPAN		24"	24"	36"	36"	32"	36"	36"	40"	36"
MOTTILING		-	-	-	-	-	-	-	40"	36"
AGW		-	-	-	-	-	-	-	48"	-
LEDGE		60"	48"	64"	68"	61"	68"	62"	69"	60"
ROOTS		-	-	-	-	-	-	-	-	-

13 SOUTH BROOK DRIVE - ADAM AGLIETTI

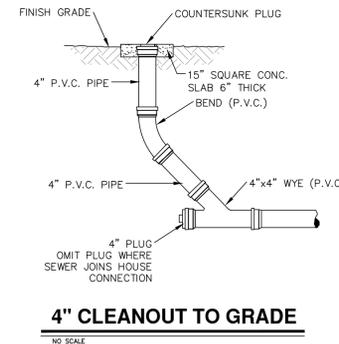
Hole Number	Clock Time		Elapsed Time	Percolation		Percolation	
	Start	Stop		Depth to Water from Ground Surface		Water Level	
				Start (Inches)	Stop (Inches)	Drop (Inches)	Soil Rate
Perc. 3	10:00	10:10	10 min	0	5	5	
	10:10	10:20	10 min	5	8	3	
	10:20	10:30	10 min	8	10	2	
	10:30	10:40	10 min	10	11	1	
	10:40	10:50	10 min	11	11 1/2	1/2	
	10:50	11:00	10 min	11 1/2	12	1/2	



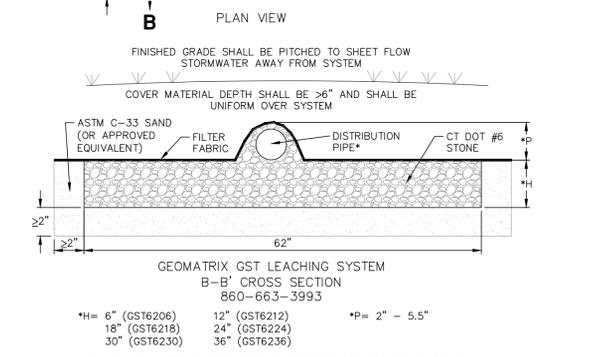
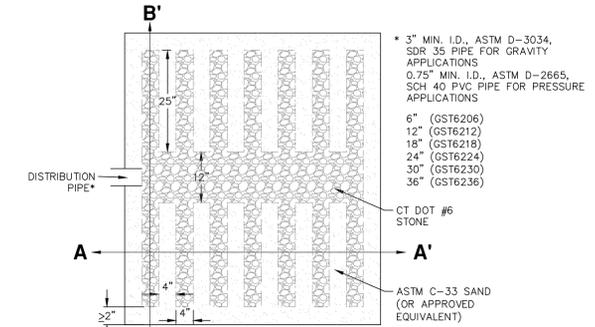
SEPTIC TANK SPECIFICATIONS:

- CONCRETE MINIMUM COMPRESSIVE STRENGTH - 5,000 P.S.I. AT 28 DAYS.
- MATERIALS & MANUFACTURING PER ASTM C-1227
- STEEL REINFORCEMENT:
WELDED DEFORMED BARS 4"x4" D6.5/D6.5 (GR.80) ASTM A-497, OR EQUAL
- JOINT SEALED W/IT BUTYL MASTIC ASTM C-990
- 4" DIAMETER OUTLET TEE EQUIPPED W/ EFFLUENT FILTER. LENGTH ADJUSTMENT IS PROVIDED.
- 4" PIPE SEALS: ROSS' PLASTICS MINI BOOT, OR EQUAL. MEETS PRESSURE REQUIREMENTS OF ASTM C-923.
- INTERIOR CAPACITY @ FLOW LINE: 2,035 GALLONS.
- 28.5 GALLONS / INCH OF RISE.
- APPROXIMATE ASSEMBLED WEIGHT: BOTTOM = 14,300 LBS., TOP = 12,500 LBS.
- DIMENSIONS SHOWN ARE AS MANUFACTURED BY EASTERN PRECAST CO. (203) 775-0230 OR (203) 775-9380

1,500 GALLON (H-20) CONCRETE SEPTIC TANK

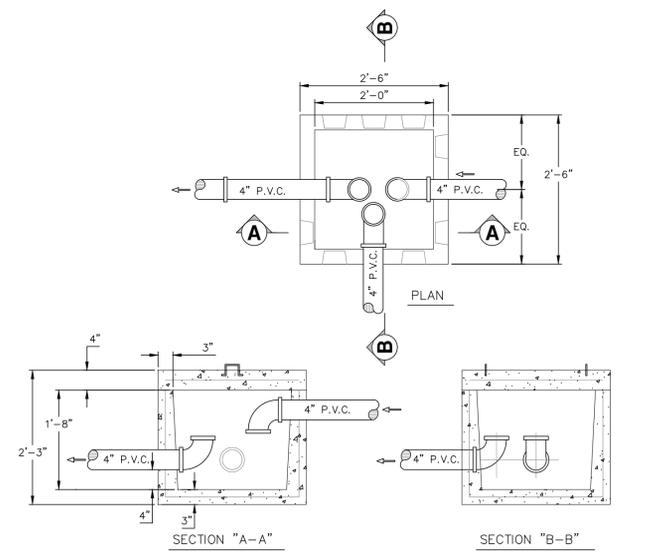


4" CLEANOUT TO GRADE



FINISHED GRADE SHALL BE PITCHED TO SHEET FLOW STORMWATER AWAY FROM SYSTEM
COVER MATERIAL DEPTH SHALL BE >6" AND SHALL BE UNIFORM OVER SYSTEM

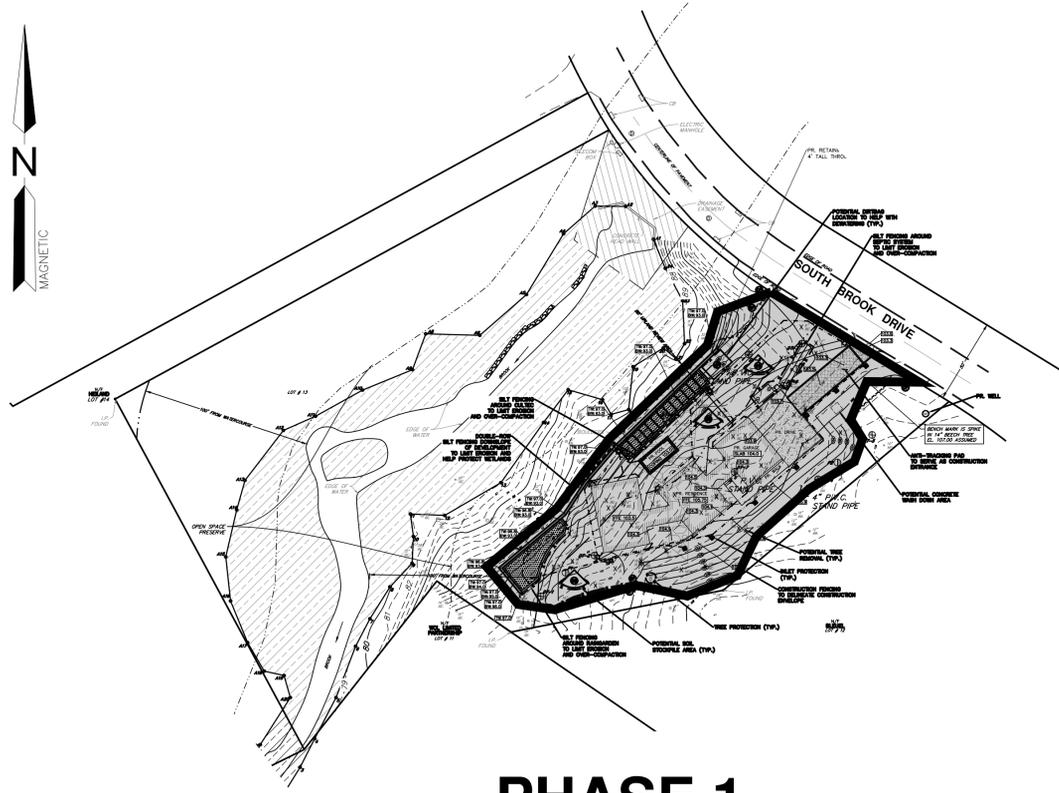
GEOMATRIX GST LEACHING SYSTEM SECTION B-B



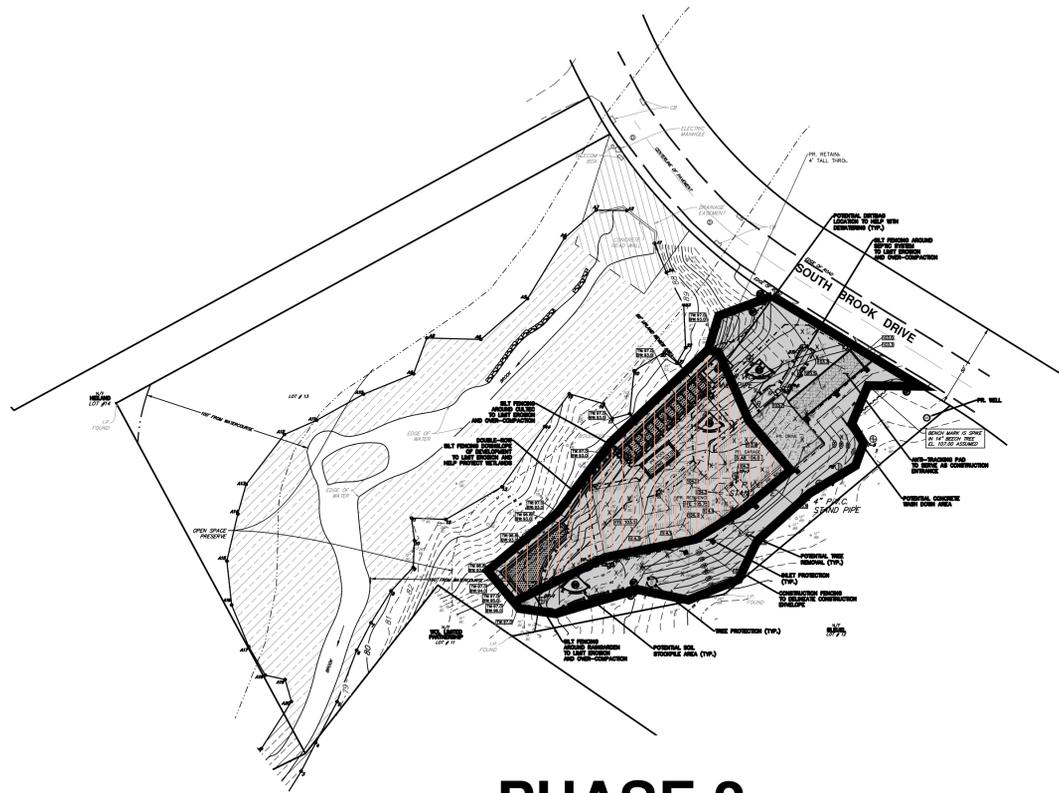
EVENFLOW DISTRIBUTION BOX - GRAVITY



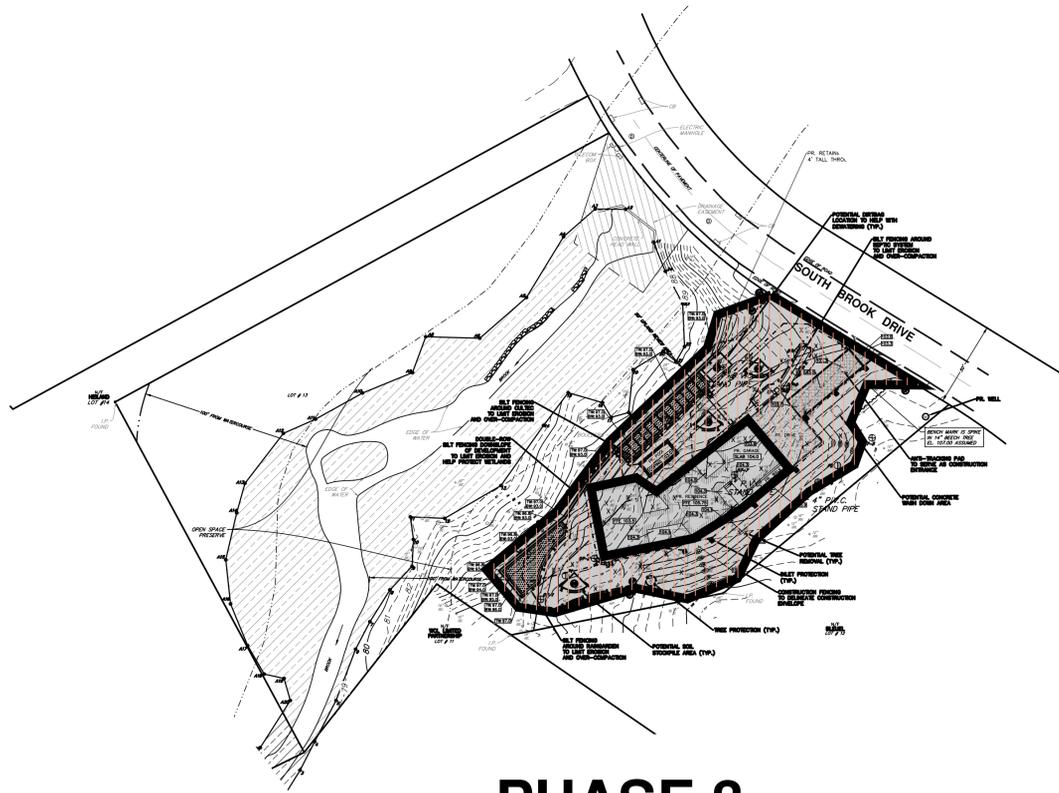
1.	11/12/2024	REVISIONS PER DPW AND EPB COMMENTS	R.W.F.	R.D.S.
No.	DATE	DESCRIPTION	DWG	CHK'D
REVISIONS				
PROJECT NAME PROPOSED SITE DEVELOPMENT PLAN ON PROPERTY OF ADAM AGLIETTI 13 SOUTH BROOK DRIVE STAMFORD CONNECTICUT				
DRAWING TITLE SEPTIC DETAILS AND NOTES				
SCALE	1" = 30'	MUNICIPALITY	STAMFORD	SHEET No.
DATE	JULY 23, 2024	COUNTY	FAIRFIELD	8
DRAWN	R.W.F.	SHEET No.	8 OF 8	
CHECKED	R.D.S.	TAX ACCOUNT No.	004-0002	
APPROVED	C.F.S.			
FILE NAME:	\\3\Info\Property Files\Stamford\Tax ID #004\004-0002 South Brook Drive Lot #13			



PHASE 1



PHASE 2

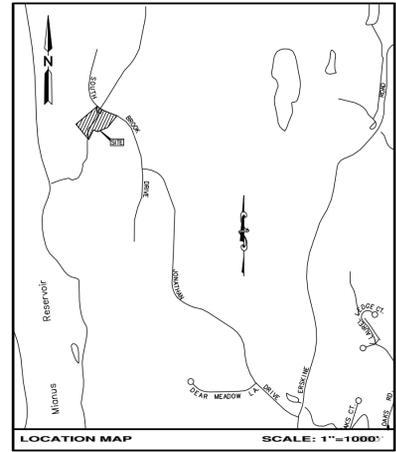


PHASE 3

PHASING LEGEND:

-  OVERALL CONSTRUCTION ENVELOPE
-  ACTIVE DISTURBANCE AREA(S)

NOTE: METHODS FOR PROPER DESIGN AND INSTALLATION OF CONTROL MEASURES MAY BE FOUND IN THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, PUBLISHED SEPTEMBER 30, 2024, AND EFFECTIVE MARCH 30, 2024.



MAP BLOCK LOT
22 400 13

- GENERAL PHASING PLAN:**
1. PHASE 1
 - 1.1. LIMIT OF DISTURBANCE FENCING, SEDIMENT BARRIERS, HAYBALES ETC.
 - 1.2. INSTALL AND STABILIZE CONSTRUCTION ACCESS. MAINTAIN AND REPAIR WITH ITEM 4 AND GRAVEL AS REQUIRED.
 - 1.3. ESTABLISH CONSTRUCTION PARKING, ANTI TRACKING PADS, STAGING AREAS.
 - 1.4. DEWATERING SEDIMENT TRAPS AND DIRT BAGS.
 - 1.5. FENCE OFF AREAS OF NON-DISTURBANCE TO PREVENT CONSTRUCTION ENCROACHMENT AND CONTRACTOR PARKING.
 - 1.6. STRIP TOP SOIL, STOCKPILE ONSITE AT STOCKPILE AREAS.
 - 1.7. STABILIZE DISTURBED AREAS WITH HAY MULCH/WILDFLOWER MIX.
 2. PHASE 2
 - 2.1. MAINTAIN/REPAIR SEDIMENT AND EROSION CONTROLS.
 - 2.2. MAINTAIN DEWATERING SEDIMENT TRAPS AND DIRT BAGS.
 - 2.3. BEGIN RESIDENCE FOUNDATION. EXCAVATE/BRING IN FILL AS NEEDED.
 - 2.4. ALL EXCAVATED MATERIAL STOCKPILED ONSITE AT STOCKPILE AREAS.
 - 2.5. BRING IN UTILITY SERVICE(S).
 - 2.6. BEGIN WALL CONSTRUCTION.
 - 2.7. COMPLETE LANDSCAPING AND GRADING IN SURROUNDING AREA.
 - 2.8. STABILIZE DISTURBED AREAS WITH HAY MULCH/WILDFLOWER MIX.
 3. PHASE 3
 - 3.1. MAINTAIN/REPAIR SEDIMENT AND EROSION CONTROLS.
 - 3.2. INSTALL RESIDENCE SEPTIC SYSTEM.
 - 3.3. INSTALL CULTREC SYSTEM AND RAINGARDEN.
 - 3.4. COMPLETE LANDSCAPING AND GRADING IN SURROUNDING AREA.
 - 3.5. FINISH DRIVEWAY PAVING.

No.	DATE	DESCRIPTION	R.W.F.	R.D.S.
1.	11/12/2024	REVISIONS PER DPW AND EPB COMMENTS		
		REVISIONS	DWG	CHK'D

PROJECT NAME: PROPOSED SITE DEVELOPMENT PLAN ON PROPERTY OF ADAM AGLIETTI 13 SOUTH BROOK DRIVE STAMFORD CONNECTICUT



DRAWING TITLE: PHASING PLAN	
SCALE: 1" = 30'	MUNICIPALITY: STAMFORD
DATE: JULY 23, 2024	COUNTY: FAIRFIELD
DRAWN: R.W.F.	SHEET No. 1 OF 1
CHECKED: R.D.S.	TAX ACCOUNT No. 004-0002
APPROVED: C.F.S.	
FILE NAME: \\3\Data\Property Files\Stamford\Tax ID #004\004-0002 South Brook Drive Lot #13	