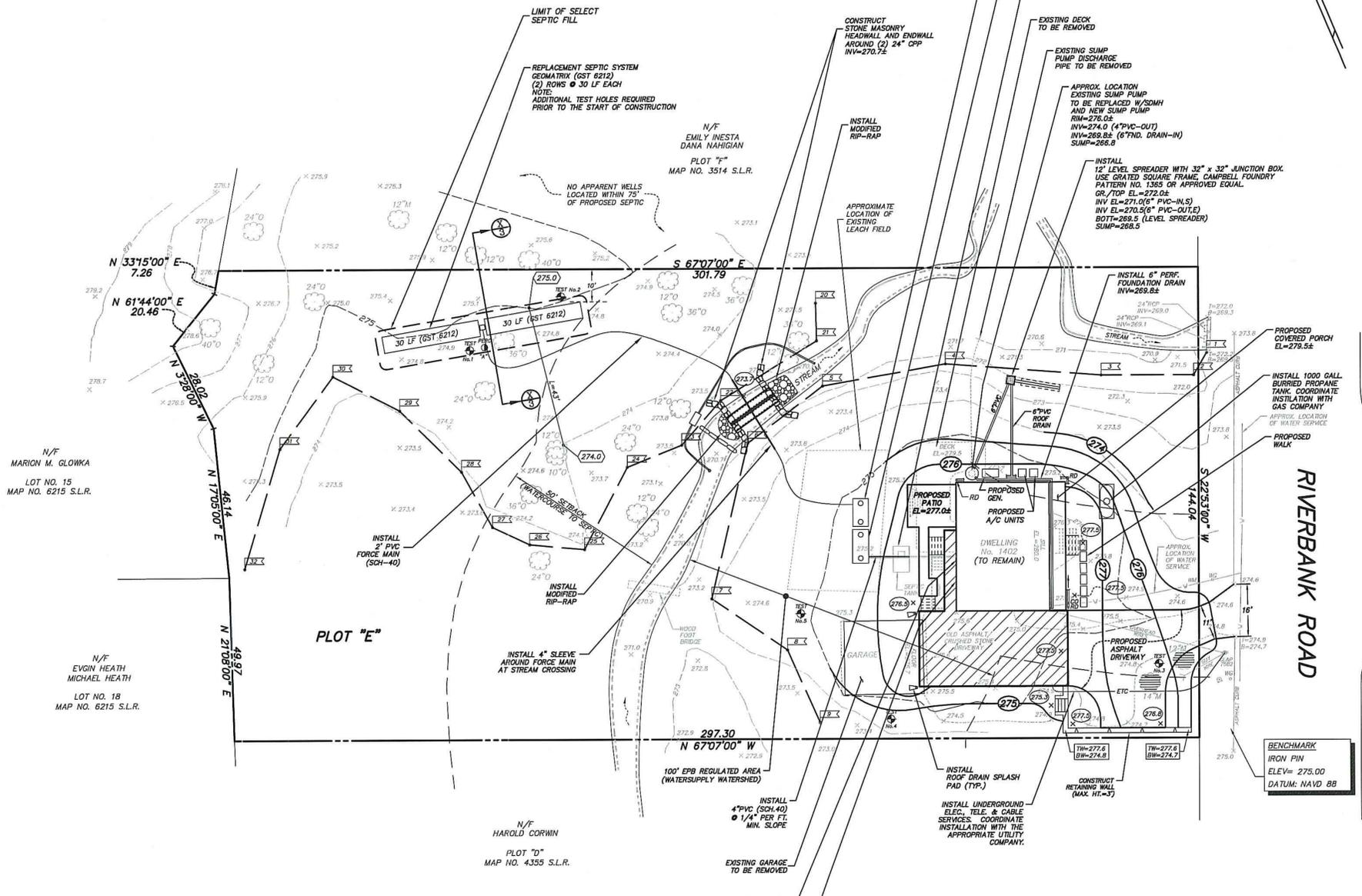
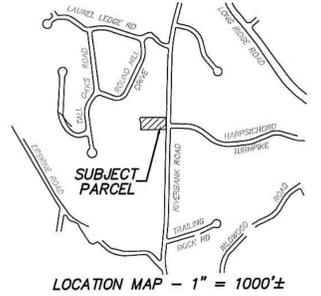


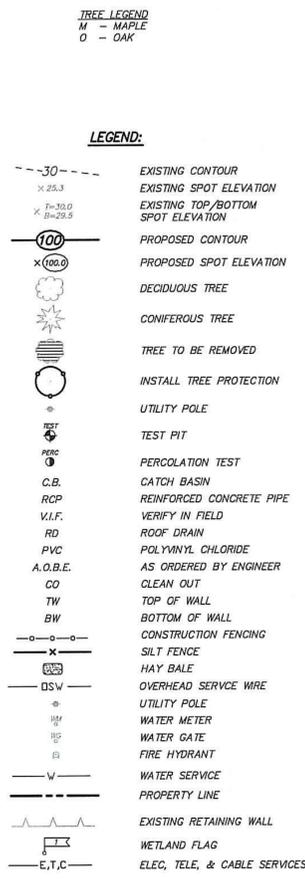
GENERAL NOTES

- Existing features and topography were taken from a map entitled "Topographic Survey of property at 1402 Riverbank Road, Stamford, Connecticut, Prepared for Jeffrey Casale," as prepared by D'Andrea Surveying & Engineering, P.C., and dated August 25, 2016.
- The subject parcel lies within Zone X FIRM Community-Panel Number 0800100363F Map revised June 18, 2010, published by the Federal Emergency Management Agency (FEMA).
- Contours and elevations depicted hereon are referenced to the North American Vertical Datum of 1988 (NAVD88).
- The limit of wetlands was delineated and flagged in the field by William Kenny, Certified Soil Scientist, William Kenny Associates LLC, on May 20, 2016 and field located by D'Andrea Surveying & Engineering, P.C.
- In accordance with Connecticut Public Act 87-71 and Connecticut General Statutes (CGS) Sections 16-345 through 16-355, the contractor shall verify the depth and location of all utilities prior to commencing construction, and shall contact "Call Before You Dig, Inc." at 1.800.922.4455, 48 hours prior to commencing construction.
- The information given on this plan in respect to the location of subsurface structures and utilities indicates only that the structures and utilities exist and no responsibility is assumed by the engineer for the accuracy of the locations shown. Utility information is not guaranteed complete or accurate.
- All construction shall comply with applicable sections of the State of Connecticut, local, and International Building codes, and those criteria shall take precedent over these plans.
- The proposed dwelling addition shall be designed by others in order to conform with current applicable zoning setback criteria and regulations, and a building permit shall be obtained prior to commencing construction.
- The Engineering Bureau of the City of Stamford shall be notified three days prior to the commencement of any work within the City of Stamford Right-of-Way.
- This property is served by public water and a subsurface sewage disposal system. These utilities will remain in place and unchanged throughout construction.
- The septic system information depicted hereon was transcribed from City of Stamford Health Department records.
- Existing utilities in conflict with the proposed development as depicted on this plan shall be relocated as directed by the appropriate utility company and/or the owner. The contractor shall excavate test pits as required to verify the location and depth of utilities where conflicts may exist.
- Certification will be required by a Professional Engineer licensed in the State of Connecticut that work has been completed in compliance with the approved drawings. An Improvement Location Survey, prepared by a licensed Land Surveyor in the State of Connecticut, will be required for submission.
- Refer to sheet 3 and 4 of 4 for construction notes and details.



CONSTRUCTION STAGING

- Install sedimentation and erosion controls.
- Mark and cut trees to be removed.
- Install tree protection as required.
- Strip topsoil and stockpile it with appropriate sedimentation control measures.
- Remove existing garage structure.
- Install stream crossing and temporary access route.
- Install septic system.
- Excavate for proposed foundation.
- Construct dwelling addition foundation.
- Waterproof existing foundation and install foundation drain.
- Backfill and rough grade around building foundation, stabilize all slopes.
- Fine grade and stabilize all slopes.
- Landscape.
- Remove sedimentation and erosion controls.



NOTE C:
ALL PVC DRAIN PIPE SHALL BE SDR-35 WITH RUBBER GASKET JOINTS.

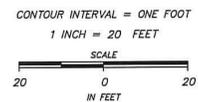
NOTE D:
UNDERGROUND SPRINKLER SYSTEMS SHALL NOT BE INSTALLED WITHIN 10' OF THE SEPTIC SYSTEM INCLUDING THE SEPTIC TANK.

NOTE E: BEDROOMS AND SEPTIC SYSTEM SIZE (TANK AND LEACHING AREA)
IT IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER TO VERIFY WITH THE HEALTH DEPARTMENT THE ACTUAL BEDROOM COUNT OF THE PROPOSED DWELLING. FLOOR PLANS SHOWING ALL LEVELS OF THE PROPOSED DWELLING WITH BATHTUB SIZES SHALL BE REVIEWED AND APPROVED BY THE HEALTH DEPARTMENT. ACCORDING TO THE HEALTH CODE, BATHTUBS OF 100-199 GALLONS REQUIRE AN INCREASE OF 250 GALLONS CAPACITY TO THE SEPTIC TANK AND BATHTUBS WITH VOLUME OF 200 GALLONS OR MORE REQUIRES AN INCREASE IN SEPTIC TANK CAPACITY OF 500 GALLONS.

TEST PIT DATA
1402 RIVERBANK ROAD, STAMFORD CONNECTICUT
TEST PITS 1 - 5 CONDUCTED BY D'ANDREA SURVEYING & ENGINEERING, P.C.
ON AUGUST 4, 2016

Test Pit #1 (HAND DUG)	Test Pit #2 (HAND DUG)	Test Pit #3
0" Topsoil	0" Topsoil	22" Fill
8" Orange Brown Silty Loam	8" Orange Brown Silty Loam	30" Original Topsoil
25" Light Brown Sandy Loam	26" Light Brown Sandy Loam	66" Brown Silty Sand (Mottled)
36" No Mottles No Water No ledge	36" No Mottles No Water No ledge	66" Mottles @ 34" CW @ 52" No ledge
Test Pit #4	Test Pit #5	
0" Topsoil	0" Fill	
14" Brown Silty Loam	27" Original Topsoil	
18" Grey Clay	34" Brown Silty Sand (Mottled)	
28" Brown Sandy Loam	60" Mottles @ 34" CW @ 52" No Water No ledge	

*NO FOUNDATION DRAIN OR FREE DRAINING MATERIAL SHALL BE PLACED ALONG FOUNDATION OR WITHIN 25' OF THE EXISTING SEPTIC TANK AND LEACH FIELD. FOUNDATION WALL TO BE EXPOSED AND WATERPROOF COATING APPLIED.



BUILDING COVERAGE
LOT AREA = 1,000.5 ACRES
DWELLING = 1,133 S.F.
GARAGE = 550 S.F.
DECK = 508 S.F.
DECK ALLOWANCE (SEC. 3A.15) = -200 S.F.
TOTAL = 1,989 S.F.
PERCENT COVERAGE = 4.6%

D'ANDREA SURVEYING & ENGINEERING, P.C.
LAND PLANNERS
ENGINEERS
SURVEYORS
P.O. BOX 549 RIVERSIDE, CT 06878
6 NEIL LANE TEL. 637-1779

REV.	DATE	DESCRIPTION
3	11-12-24	ADDED SAE SHEET SHOWING CONST. ACCESS
2	8-24-17	EPB COMMENTS & DECK MODIFICATIONS
1	5-25-17	ENGINEERING & SHD COMMENTS
0	4-26-17	SUBMIT TO EPB & SHD

REVISIONS: 1881-EP-03-REV.010-0 (2/21/17)

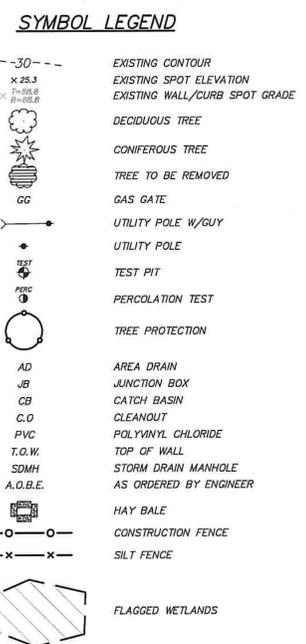
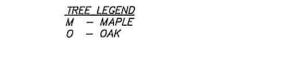
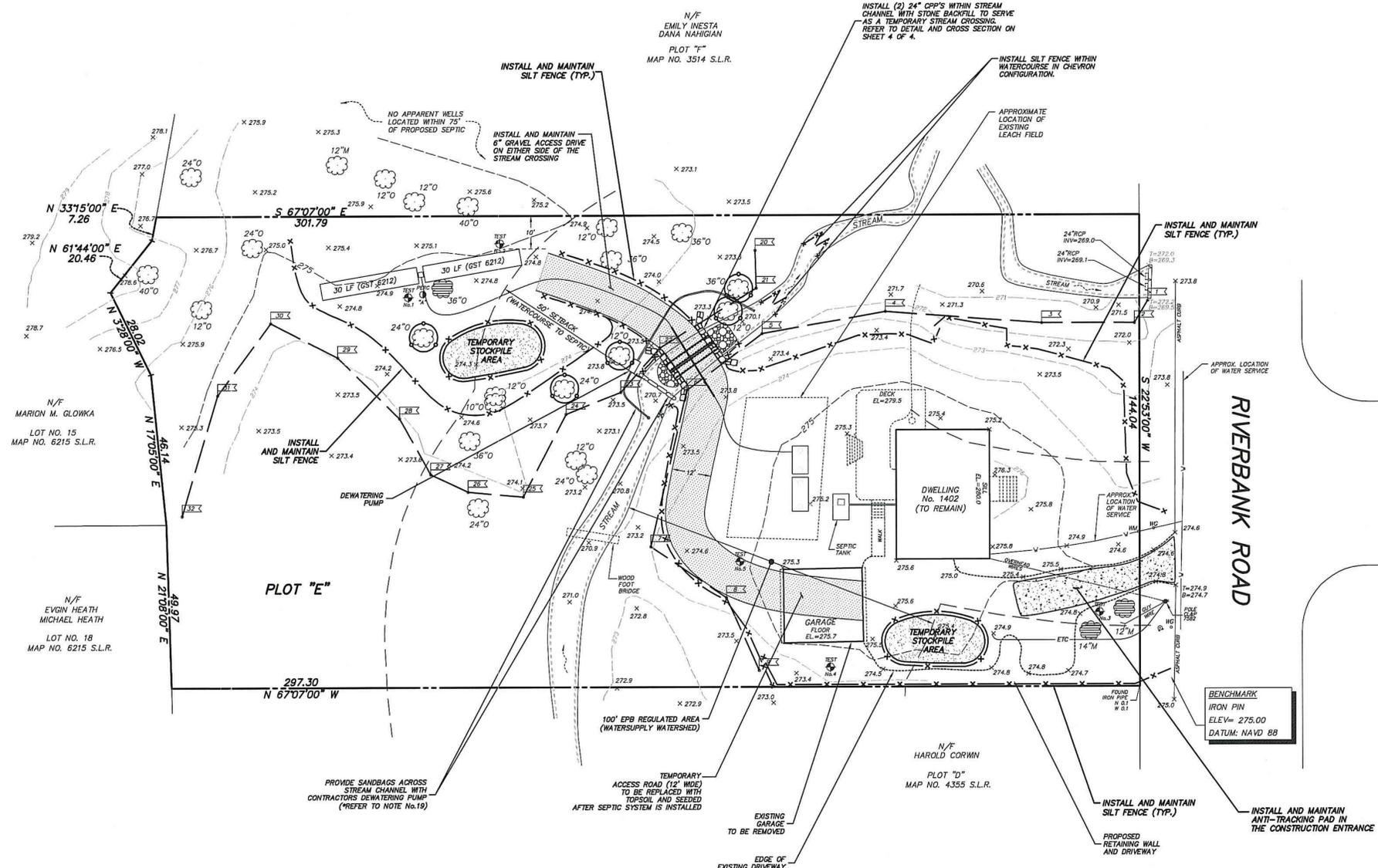
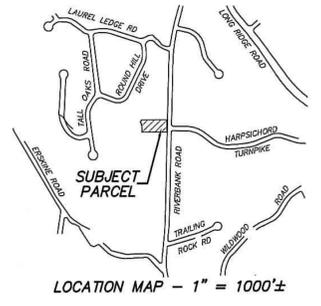
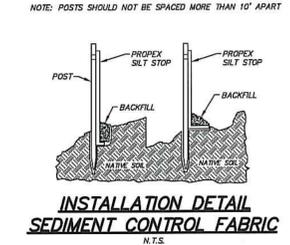
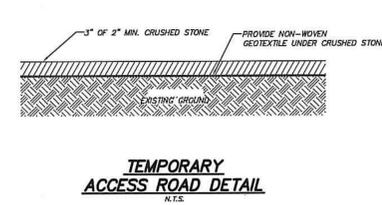
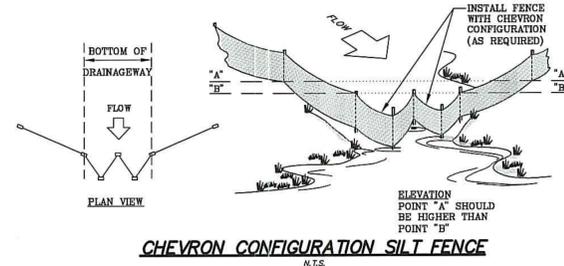
REVISED BY: [Signature] DATE: 11-12-24

ONLY COPIES OF THIS PLAN BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL ARE TRUE, VALID COPIES.

PROJECT	RESIDENTIAL IMPROVEMENTS
PREPARED FOR	JEFFREY CASALE
LOCATION	1402 RIVERBANK ROAD STAMFORD, CONNECTICUT
1 OF 4	DEVELOPMENT PLAN

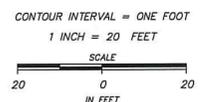
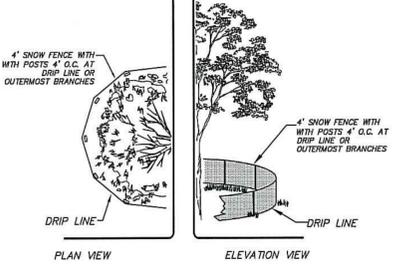
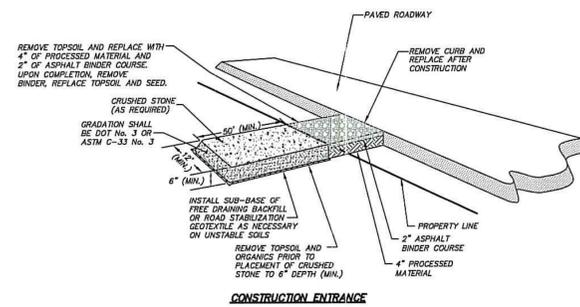
SEDIMENTATION AND EROSION CONTROL NOTES:

- Temporary soil and erosion control measures, inclusive of filter barriers, water breaks, check dams, and anti-tracking areas, shall remain in place for as long as necessary to permanently stabilize developed areas.
- Erosion and sediment control devices shall be installed in their proper sequence. No clearing or grading may be done in any area until the erosion control devices for that area, as shown on the plan, are in place and functional.
- Natural vegetation shall be maintained and protected where practical.
- No changes of this soil erosion and sediment control plan may be made without prior approval of the supervising engineer.
- Land disturbance is to be kept to a minimum. Re-establishment and/or stabilization of disturbed areas shall be scheduled as soon as practical.
- Erosion controls shall be monitored periodically to verify that they are maintained in effective working order. If, during construction, additional control measures are necessary, they shall be installed by that contractor.
- Sediment or debris shall be removed from the drainage pipes and structures as it accumulates during construction. It shall be disposed of in a manner which is consistent with the intent of this plan.
- The contractor may provide alternate means of sediment control, but he may not eliminate placement of protection in the areas indicated hereon.
- Sediment fencing shall be installed where required prior to commencing construction. Fencing shall be Propex Silt Stop (TM) as manufactured by Amoco, or engineer approved equivalent.
- The contractor shall re-grade, topsoil, and seed all disturbed areas immediately after construction has been completed.
- All designated trees shall be protected during the construction period, except those designated to be removed. Tree protection shall be in accordance with generally accepted standards. (Refer to the Connecticut Guidelines for Soil Erosion and Sediment Control (2002) for details and specifications).
- Roof leader down spouts and drains that discharge to the ground surface, if any, shall discharge over splash pads.
- Four (4) inches of crushed stone shall be placed under any exterior decks and/or open stairways.
- Additional protection measures shall be implemented should site conditions warrant them.
- Refer to Connecticut Guidelines for Soil Erosion and Sediment Control (2002) for additional details and specifications.
- Silt fence shall be Mirafi envelope, Amoco siltstop or equivalent approved by Site Engineer. Filter fabric used shall be Mirafi 100x or equivalent. Install silt fence according to manufacturer's instruction, particularly, bury lower edge of fabric into ground.
- Land disturbance shall be kept to a minimum. All disturbed areas shall be planted in where permanent plantings are called for as soon as practicable. Seed and mulch disturbed areas with grass seed where permanent plantings are not called for, as soon as practicable. Prepare seedbed (4" thick minimum) with topsoil. Seed, rake, roll, water and mulch areas according to mixes below. Water as often as necessary (up to 3 times per day) to establish cover. Mulch seeded areas at 1 to 2 tons/acre with salt hay. Maintain mulch and watering until grass is 3" high with 85% cover. Reseed or overseed if necessary.
Temporary Seed Mix:
Perennial ryegrass 40 lbs/ac.
Permanent Lawns:
Kentucky Bluegrass 20 lbs/ac.
Creeping red fescue 20 lbs/ac.
Perennial ryegrass 5 lbs/ac.
(1 lb/1000 sq. ft.)
Optimum Seeding Dates:
April 15 through June 15
August 15 through October 1 45 lbs/ac.
(1 lb/1000 sq. ft.)
- If disturbed areas cannot be seeded immediately due to the time of year, mulch area until seeding can occur; remove mulch and seed and re-mulch when season permits.
- Construction within the watercourse and wetlands shall occur during low-flow periods. When weather for casts a 1/2 inch rain storm or more, sandbags, sump pump, and all dewatering equipment shall be removed from the watercourse area.
- Refer landscape planting plan for proposed plantings and related notes and details.



CONSTRUCTION STAGING

- Install sedimentation and erosion controls.
- Mark and cut trees to be removed.
- Install tree protection as required.
- Strip topsoil and stockpile it with appropriate sedimentation control measures.
- Remove existing garage structure.
- Install stream crossing and temporary access route.
- Install septic system.
- Excavate for proposed foundation.
- Construct dwelling addition foundation.
- Waterproof existing foundation and install foundation drain.
- Backfill and rough grade around building foundation, stabilize all slopes.
- Fine grade and stabilize all slopes.
- Landscape.
- Remove sedimentation and erosion controls.



NOTE A:
THE STREET AND PROJECT FRONTAGE AREA SHALL BE SWEEP CLEAN AT THE END OF EACH DAY AS REQUIRED. IN PARTICULAR, THE CONSTRUCTION ENTRANCE SHALL BE KEPT FREE OF DUST AND SEDIMENT.

D'ANDREA SURVEYING & ENGINEERING, P.C.
• LAND PLANNERS
• ENGINEERS
• SURVEYORS
P.O. BOX 549 RIVERSIDE, CT 06878
6 NEIL LANE TEL. 637-1779

PROJECT	RESIDENTIAL IMPROVEMENTS	
PREPARED FOR	JEFFREY CASALE	
LOCATION	1402 RIVERBANK ROAD STAMFORD, CONNECTICUT	
2 OF 4	SEDIMENTATION AND EROSION CONTROL PLAN	

REV.	DATE	DESCRIPTION
0	11-12-24	ADDED CONSTRUCTION ACCESS
LEONARD C. D'ANDREA, CT. PE No. 14869 ENGINEER DATE 11-12-24		

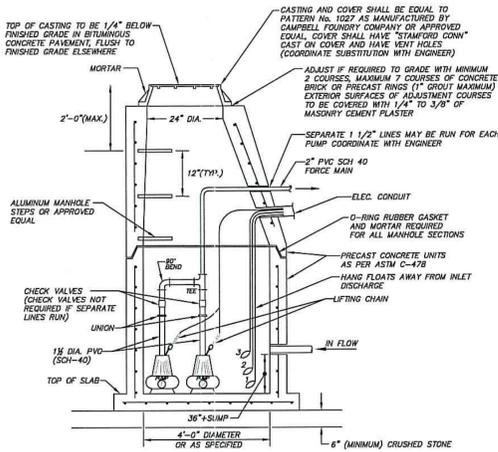
ONLY COPIES OF THIS PLAN BEARING AN ORIGINAL IMPRINT OF THE ENGINEER'S EMBOSSED SEAL ARE TRUE, VALID COPIES.

CONSTRUCTION NOTES:

- In accordance with Connecticut Public Act 87-71 and Connecticut General Statutes Sections 16-345 through 16-359, the owner or the contractor shall be required to verify the depth and location of all utilities prior to commencing construction, and shall contact "Call Before You Dig, Inc." at 1-800-922-4455, 48 hours prior to commencing construction for mark out of underground utilities.
- The contractor shall be solely responsible to coordinate his work with the work being done by others. The contractor shall likewise bear the responsibility for delays or other factors related to the work by others. No claims shall be allowed due to the contractor's failure to adequately coordinate such work.
- THE CITY OF STAMFORD ENGINEERING BUREAU SHALL BE NOTIFIED THREE DAYS PRIOR TO THE COMMENCEMENT OF EACH PHASE OF CONSTRUCTION AFFECTING THE CITY RIGHT-OF-WAY.
- All construction shall comply with applicable sections of the State of Connecticut, Local, and International Building codes, and those criteria shall take precedent over these plans.
- All construction shall be inspected by a professional engineer prior to backfill and as the work progresses.
- The project engineer shall be notified a minimum of three working days prior to the commencement of each phase of construction.
- Appropriate measures shall be taken to control any sedimentation and erosion which may result during construction.
- All excavated material shall be stockpiled and contained on-site within silt fencing. The contractor shall be responsible for the removal of all excess material excavated during construction. All excess material shall be removed in a careful and environmentally sound manner and shall be disposed of legally off-site.
- All specimen trees shall be protected during the construction period, except those specifically designated to be removed, in accordance with generally accepted standards.
- The proposed building shall be designed by an architect in order to conform with current applicable zoning setback criteria and regulations, and a building permit shall be obtained prior to commencing construction.
- Existing utilities in conflict through or above this parcel shall be relocated as directed by the appropriate utility company or the owner. The contractor shall excavate test pits to verify the location and depth of utilities where conflicts may exist.
- Pavement replacement shall be bituminous concrete, placed in accordance with the City of Stamford standards and/or Connecticut State Highway specifications.
- Shoulders and disturbed areas shall receive four inches of topsoil, fine graded and seeded as soon as practical to prevent erosion.
- The contractor shall not commence any paving until the grading and shaping of the compacted gravel base has been approved by the project engineer.
- Re-grading, filling, and other such alterations to the site shall be restricted to the minimum level necessary to complete the project as shown on the plan.
- Existing inverts on storm drains, sanitary sewers, and utility conduits shall be field verified where appropriate, before commencing construction. The contractor shall excavate test pits where indicated hereon or wherever design conflicts may occur. The contractor shall notify the project engineer of the test pit schedule. Design conflicts if any, shall be brought to the immediate attention of the project engineer. Patch or backfill and patch test pits as directed by the project engineer.
- The project engineer with the approval of the City of Stamford, may direct a change in the location of the storm drainage or sanitary sewer structures to meet field conditions.
- On-site driveway catch basins shall be 24"x24" as manufactured by Eastern Precast Co., Inc., with Pattern No. 2815, cast iron frame and grate, as manufactured by Campbell Foundry, Co., or engineer approved equal, unless noted otherwise. All catch basins shall have 2" (minimum) sumps and bell traps, installed immediately upon making pipe connections, unless noted otherwise.
- All gravity PVC storm drain and sanitary sewer pipes shall conform to ASTM D 3034 "Standard Specification for type PSM Poly Vinyl Chloride (PVC) Sewer Pipe and Fittings" or approved equal (SDR35). Bends in pipes shall not exceed 45 degrees.
- Where unsuitable foundation is encountered during construction of storm drains or sanitary sewers, the contractor shall remove the unsuitable material and replace it with other material approved by the project engineer.
- Bedding and backfill material shall conform to ASTM D2321 specification "standard recommended practice for underground installations of flexible thermoplastic sewer pipe (PVC)."
- All site drainage connections shall be sloped at 2% (minimum) or as otherwise noted.
- All drainage and sewer conduits if located under a paved or traveled way shall have 1 foot minimum cover for residential driveways and 2 1/2 foot minimum cover within the municipal right-of-way, or be encased in concrete as ordered by the supervising engineer.
- The contractor shall provide all equipment, tools, labor and materials necessary to satisfactorily clean and remove all visible obstructions, dirt, sand, sludge, roots, gravel, stones, etc., from the storm drains, sanitary sewers, and manholes.
- Processed aggregate shall be in accordance with the City of Stamford standards and/or Connecticut State Highway specifications.
- Individual residential driveway pavement shall be one course of 2 1/2" compacted Class 2 bituminous concrete with a 6" processed aggregate base.
- All retaining walls greater than three feet are required to be designed, and inspected during construction by a Professional Engineer registered in the State of Connecticut. A Retaining Wall Certification Sign-Off and Retaining Wall Field Inspection Record form shall be submitted prior to the issuance of a Certificate of Occupancy.
- All detention/retention systems shall be installed per manufacturers specifications. All systems shall use a manifold system to distribute runoff evenly into each row of infiltrators. The manifold shall be installed on the inlet and overflow sides.
- The contractor shall be responsible for securing all required permits from the City of Stamford for completion of the project, including but not limited to Health Department approval.

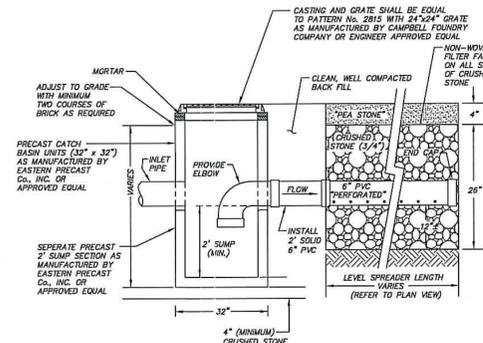
Standard City of Stamford Notes:

- A Street Opening Permit is required for all work within the City of Stamford Right-of-Way.
- All work within the City of Stamford Right-of-Way shall be constructed to City of Stamford requirements, the State of Connecticut Basic Building Code and the Connecticut Guidelines for Soil Erosion and Sedimentation Control.
- The Engineering Bureau of the City of Stamford shall be notified three days prior to any commencement of construction or work within the City of Stamford Right-of-Way.
- Trees within the City of Stamford Right-of-Way to be removed shall be posted in accordance with the Tree Ordinance.
- Prior to any excavation the Contractor and/or Applicant/Owner, in accordance with Public Act 77-350, shall be required to contact "Call Before You Dig" at 1-800-922-4455 for mark out of underground utilities.
- All retaining walls three (3) feet or higher measured from finished grade at the bottom of the wall to finished grade at the top of the wall and retaining walls supporting a surcharge or impounding Class I, II or III-A liquids are required to have a Building Permit. Retaining walls shall be designed and inspected during construction by a Professional Engineer licensed in the State of Connecticut. Prior to the issuance of a Certificate of Occupancy, retaining walls shall be certified by a Professional Engineer licensed in the State of Connecticut.
- Certification will be required by a professional engineer licensed in the State of Connecticut that work has been completed in compliance with the approved drawings.
- A Final Improvement Location Survey will be required by a professional land surveyor licensed in the State of Connecticut.
- Connection to a city-owned storm sewer shall require the Waiver Covering Storm Sewer Connection to be filed with the City of Stamford Engineering Bureau.
- Granite block or other decorative stone or brick, depressed curb, driveway apron and curbing within the City of Stamford Right-of-Way shall require the Waiver Covering Granite Block Depressed Curb and Driveway Aprons to be filed with the City of Stamford Engineering Bureau.
- Sediment and erosion controls shall be maintained and repaired as necessary throughout construction until the site is stabilized.
- To obtain a Certificate of Occupancy, submittal must include all items outlined in the Checklist for Certificate of Occupancy (Appendix D of the City of Stamford Drainage Manual).
- Reference EPB Permit #, Zoning Permit #, Zoning Board of Appeals #, Subdivision #, if applicable.

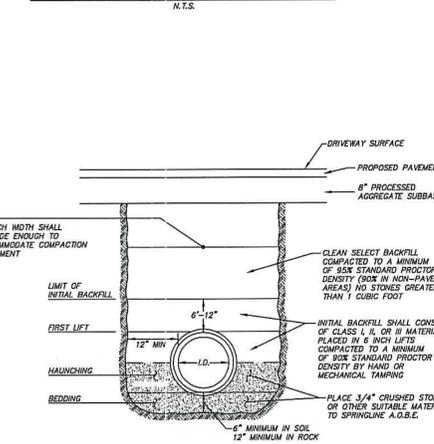


STORM DRAIN MANHOLE WITH SUMP PUMPS DETAIL
N.T.S.
(FOR DUPLEX SUMP PUMPS)

- NOTES:**
- FURNISH AND INSTALL 2 GOLD'S HEG 3/16" PUMPS WITH GOLD PANEL No. AG-2012 WITH NEARBY ENCLOSURE AND 3 FLOAT CONTROLS POLYURETHANE FOAM FLOAT ARMED (AG-3)
 - PUMPS AND CONTROLS SHALL BE CONNECTED TO A BACK UP POWER SUPPLY TO RUN DURING POWER FAILURES. LICENSED ELECTRICIAN TO COORDINATE WITH ENGINEER AND PROVIDE WIRING SCHEMATIC AS REQUIRED.
 - CONTRACTOR TO PROVIDE AND INSTALL PIPING, VALVES AND FITTINGS AS REQUIRED.
 - PANEL TO BE INSTALLED PROMINENTLY TO OTHER COVERING PANELS IN BASEMENT. COORDINATE WITH MECHANICAL ENGINEER.
 - ENGINEER TO BE NOTIFIED TO ATTEND START UP TEST WHEN INSTALLATION IS COMPLETE.
 - PUMPS, CONTROLS, AND MANHOLE MAY BE TESTED BY EASTERN PRECAST 1-203-775-0230. ENGINEER MAY APPROVE EQUAL SUBSTITUTIONS. SUBMIT FOR APPROVAL IN WRITING.

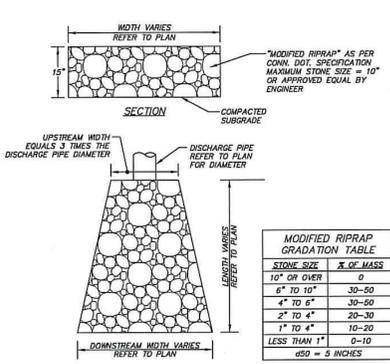


LEVEL SPREADER WITH 32\"/>



DETAIL FOR PVC SANITARY SEWER AND PVC/CPP STORM DRAIN INSTALLATION
N.T.S.

- NOTES:**
- REFER TO ASTM D8321 (STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS) FOR TRENCHING SPECIFICATIONS.

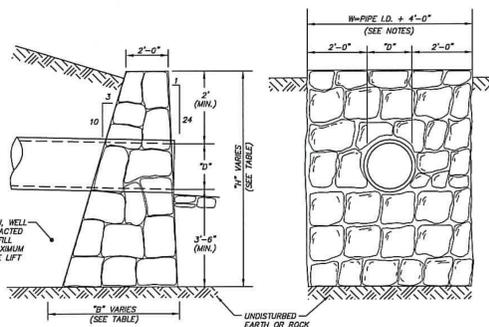


MODIFIED RIPRAP PAD DETAIL
N.T.S.

- NOTES:**
- THE BOTTOM WIDTH OF THE RIPRAP PROTECTION SHALL BE AT LEAST EQUAL TO THE BOTTOM WIDTH OF THE DOWNSTREAM CHANNEL. THE RIPRAP LINING SHALL EXTEND NO LOWER THAN TWO-THIRDS OF THE CHANNEL'S VERTICAL DIMENSIONS ABOVE THE CULVERT INVERT.
 - REFER TO THE DEVELOPMENT PLANS FOR LENGTHS OF RIPRAP PROTECTION.
 - SIDE SLOPES OF RIPRAP PROTECTION SHALL BE 2H:1V OR FLATTER.
 - THERE SHALL BE NO VERTICAL DROP AT THE END OF THE APRON OR AT THE END OF THE CULVERT.

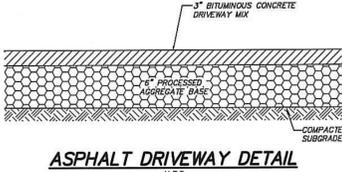
MODIFIED RIPRAP GRADATION TABLE

STONE SIZE	% OF MASS
10" OR OVER	0
6" TO 10"	30-50
4" TO 6"	30-50
2" TO 4"	20-30
1" TO 2"	10-20
LESS THAN 1"	0-10
450 ± 5 INCHES	

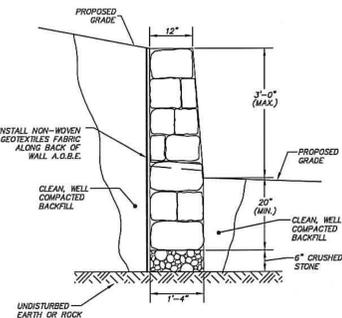


STONE MASONRY END/HEAD WALL
N.T.S.

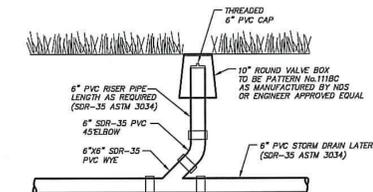
- STONE RETAINING WALL NOTES**
- SHOULD THERE BE MORE THAN ONE LINE OF PIPES, THE TOTAL WIDTH OF HEADWALL/ENDWALL WILL BE EQUAL TO THE SUM OF PIPE DIAMETERS AND SPACING(S) BETWEEN PIPES AND 4'-0".
- ALL WORK SHALL COMPLY WITH THE STATE AND LOCAL BUILDING CODES AND SPECIFICATIONS.
- WALL IS DESIGNED AS GRADED.
- VERIFY ALL DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL VERIFY ALL DRAWINGS FOR COORDINATION BETWEEN TRADES.
- THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ACCEPT FULL RESPONSIBILITY FOR DIMENSIONAL CORRECTNESS.
- STONE WALLS SHALL BEAR ON UNDISTURBED SOIL OR ROCK HAVING A MINIMUM SAFE BEARING CAPACITY OF 2 TONS PER SQUARE FOOT; THIS VALUE SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER FOR THE SPECIFIC APPLICATION AND LOCATION.
- TRUCKS, BULLDOZERS OR OTHER HEAVY EQUIPMENT SHALL BE OPERATED WITH CAUTION AND IN SUCH A MANNER AS TO CAUSE NO DAMAGE TO RETAINING WALL SYSTEMS.
- BACKFILL WITH APPROVED GRANULAR MATERIAL; BACKFILLING FRONT OF WALL SHALL BE DONE IN LAYERS, NOT TO EXCEED 18 INCHES. COMPACTION SHALL BE 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. EXCAVATION MUST BE FREE OF WATER WHILE STONE WORK IS IN PROGRESS.
- ALL STONE SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 2,000 PSI.
- STONE SIZES SHALL BE GRADED FROM 25% TO 100% OF THE WALL WIDTH. SMALLER STONES MAY BE USED TO LOCK THE WALL AS REQUIRED, BUT THE AMOUNT SHALL NOT EXCEED 20% OF THE TOTAL VOLUME OF THE WALL AND THESE STONES SHALL BE EVENLY DISTRIBUTED.



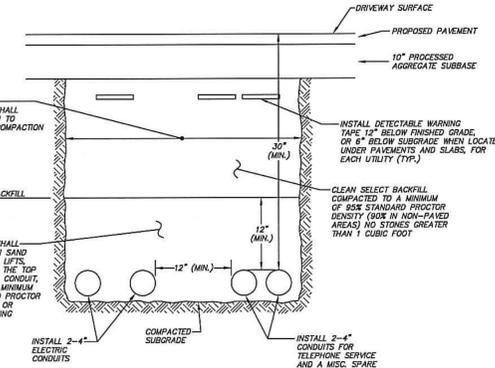
ASPHALT DRIVEWAY DETAIL
N.T.S.



LOW-PROFILE STONE MASONRY RETAINING WALL
N.T.S.



ROOF DRAIN CLEAN OUT TO GRADE DETAIL
N.T.S.

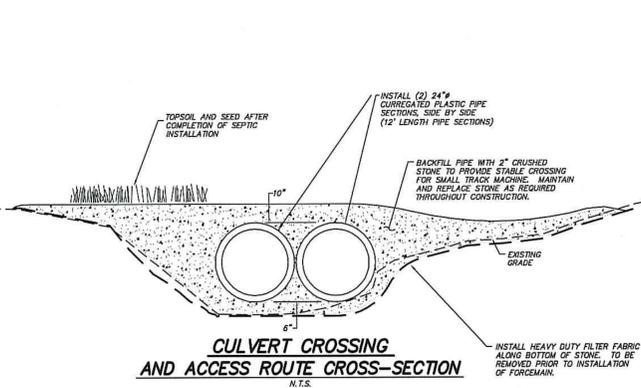


DETAIL FOR UNDERGROUND UTILITY TRENCH
N.T.S.

- NOTES:**
- COORDINATE NUMBER AND SIZE OF CONDUIT WITH EACH RESPECTIVE UTILITY COMPANY PRIOR TO INSTALLATION.
 - THIS SECTION IS DESIGNED IN ACCORDANCE WITH SECTION 7.1 OF THE CITY OF STAMFORD ZONING REGULATIONS AND IS CAPABLE OF WITHSTANDING THE FLOOD DEPTHS, PRESSURES, VELOCITIES, IMPACT AND UPLIFT FORCES, AND OTHER FACTORS ASSOCIATED WITH THE BASE FLOOD.



RESIDENTIAL SPLASH PAD DETAIL
N.T.S.



CULVERT CROSSING AND ACCESS ROUTE CROSS-SECTION
N.T.S.

D'ANDREA SURVEYING & ENGINEERING, P.C.
• LAND PLANNERS
• ENGINEERS
• SURVEYORS

P.O. BOX 549
RIVERSIDE, CT 06878

6 NEIL LANE
TEL. 637-1779

PROJECT	RESIDENTIAL IMPROVEMENTS		
PREPARED FOR	JEFFREY CASALE		
LOCATION	1402 RIVERBANK ROAD STAMFORD, CONNECTICUT		
REV.	DATE	DESCRIPTION	
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