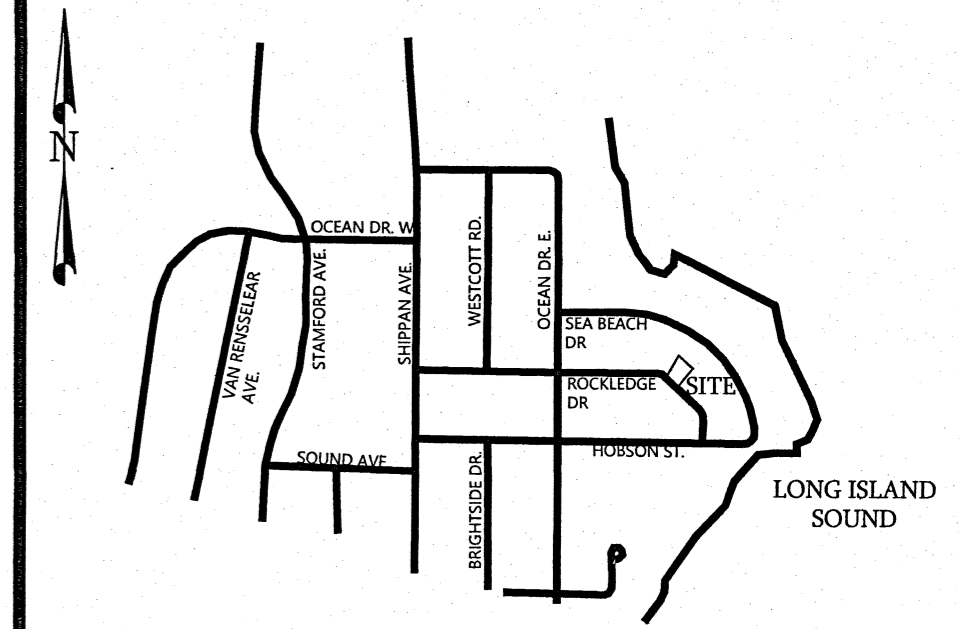
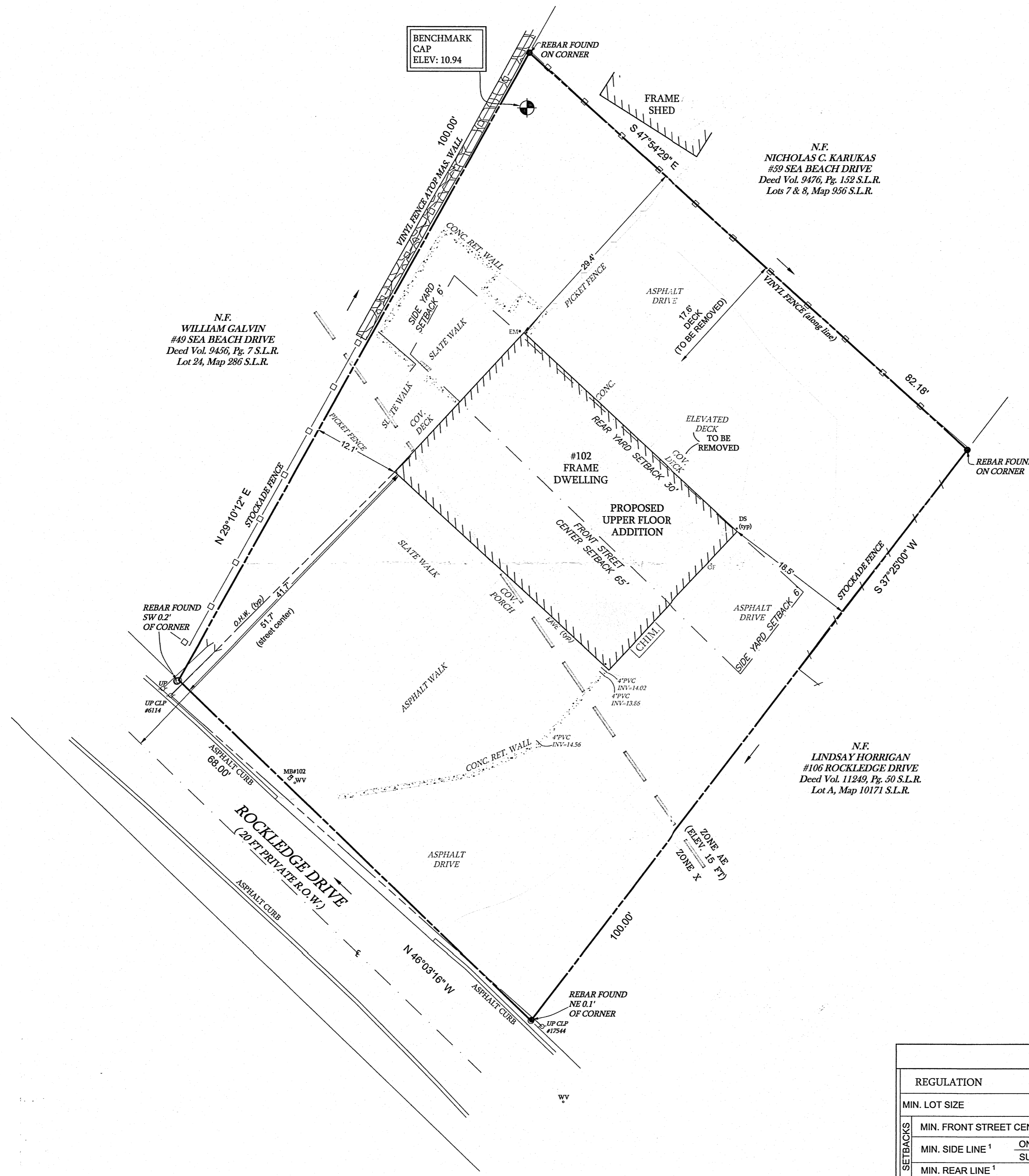




ORIENTATION



STAMFORD, CT SCALE: 1"=800'



NOTES:

- This survey has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. as a Zoning Location Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2. It is intended to be used for application for determination of zoning compliance and for building permit purposes.
- Reference is made to Maps 286, 956, 2154 and 10171 of the Stamford Land Records (S.L.R.).
- Reference is made to deed of record Vol. 11200, Pg. 164 & 167 S.L.R.
- Reference is made to instruments of record as labeled hereon.
- Lot area : 7,383 ± Sq. Ft. or 0.1695 ± Acres.
- Elevations depicted hereon are based on the North American Vertical Datum of 1988 (NAVD-88).
- Subject parcel lies partially within Special Flood Hazard Zones AE (EL 15) as depicted on FEMA Flood Insurance Rate Map Community Panel No. 09001C0519G Map Effective July 08, 2013.
- Reference is made to an unrecorded map titled "Property Survey depicting 102 Rockledge Dr, Stamford, CT, prepared for Matthew M. Malloy" dated 7/15/2024, prepared by this office.
- Reference is made to Architectural plans titled "Malloy, 102 Rockledge Drive, Stamford, Ct 06902" dated 3/25/2024, and prepared by Signature Building Systems.
- Property may be subject to Riparian rights of others in and to any brook, stream or pond abutting or passing through the parcel.
- Location, extent and sizes of any underground utilities not guaranteed. Consult with the appropriate utility company or agency prior to designing improvements, commencing demolition or construction.
- Owner of record:
Matthew M. & Megan M. Malloy

#032-24

ZONING DATA: R-10

REGULATION	MIN / MAX	EXISTING	PROPOSED
MIN. LOT SIZE	10,000 SF	7,383 SF	NO CHANGE
MIN. FRONT STREET CENTER	65'	51.7'	NO CHANGE
MIN. SIDE LINE ¹	ONE SIDE 6'	12.1'	NO CHANGE
	SUM 12'	30.6'	NO CHANGE
MIN. REAR LINE ¹	30'	29.4'	NO CHANGE
MAX. STORIES	2.5	-	3 2.5
MAX. HEIGHT	30'	-	-
MAX. BUILDING AREA	20%	1,150 SF = 15.6%	1,118 SF = 15.1%

- Yard (233-11) When a Lot adjoins a Lot in a more restrictive district, any adjoining Side Yard of such former Lot shall have minimum width equal to the required Side Yard in the more restrictive district, and any adjoining Rear Yard shall have a minimum depth equal to the required depth of the Rear Yard in the more restrictive district.
- BUILDING AREA: (Ex 1,150 SF - COV. DECK 32 SF) / 7,383 = 0.151 x 100 = 15.1%
- Provided by Signature Building Systems

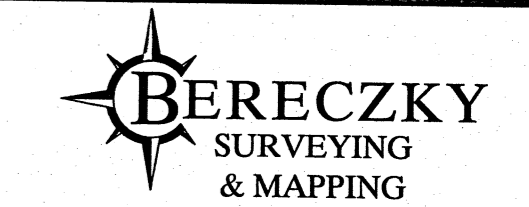
ZONING LOCATION SURVEY
DEPICTING PROPOSED ADDITIONS
102 ROCKLEDGE DRIVE
STAMFORD, CT
PREPARED FOR
MATTHEW M. MALLOY

DATE: 7/28/2024
JOB NO. 352

0 10 20
1"=10'

To my knowledge and belief this map is substantially correct as noted hereon

Attila Bereczky
ATTILA BERECKZY CT. LIC. NO. 70416
DATE: 7/28/2024



203-857-4110 191 LLOYD DR
www.bereckzy.com FAIRFIELD, CT, 06825

This document and copies thereof are valid only if they bear the signature and embossed seal of the designated licensed professional. Unauthorized alterations render any declaration hereon null & void.

ZLS

#032-24



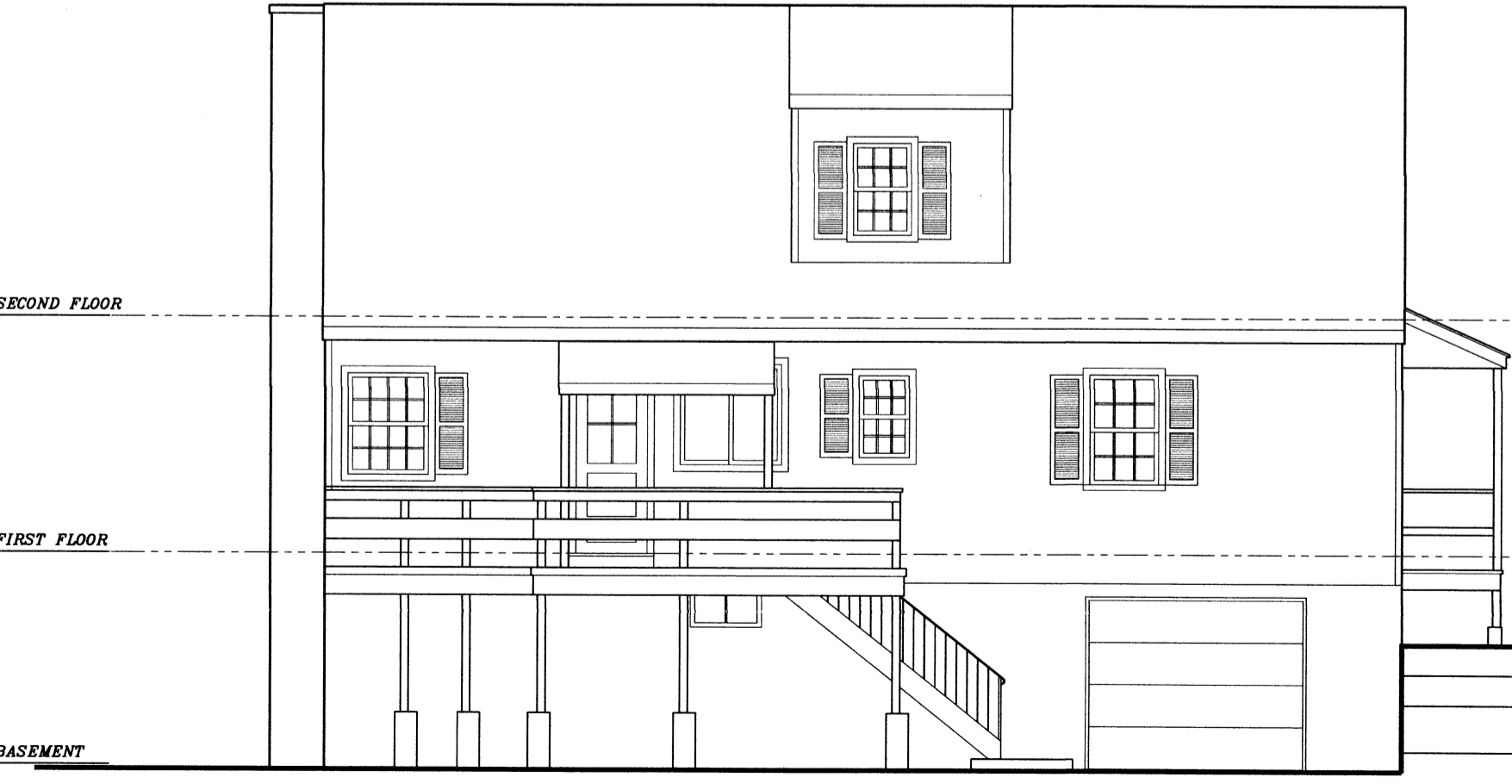
1 EXISTING FRONT ELEVATION

1/4" = 1'-0"



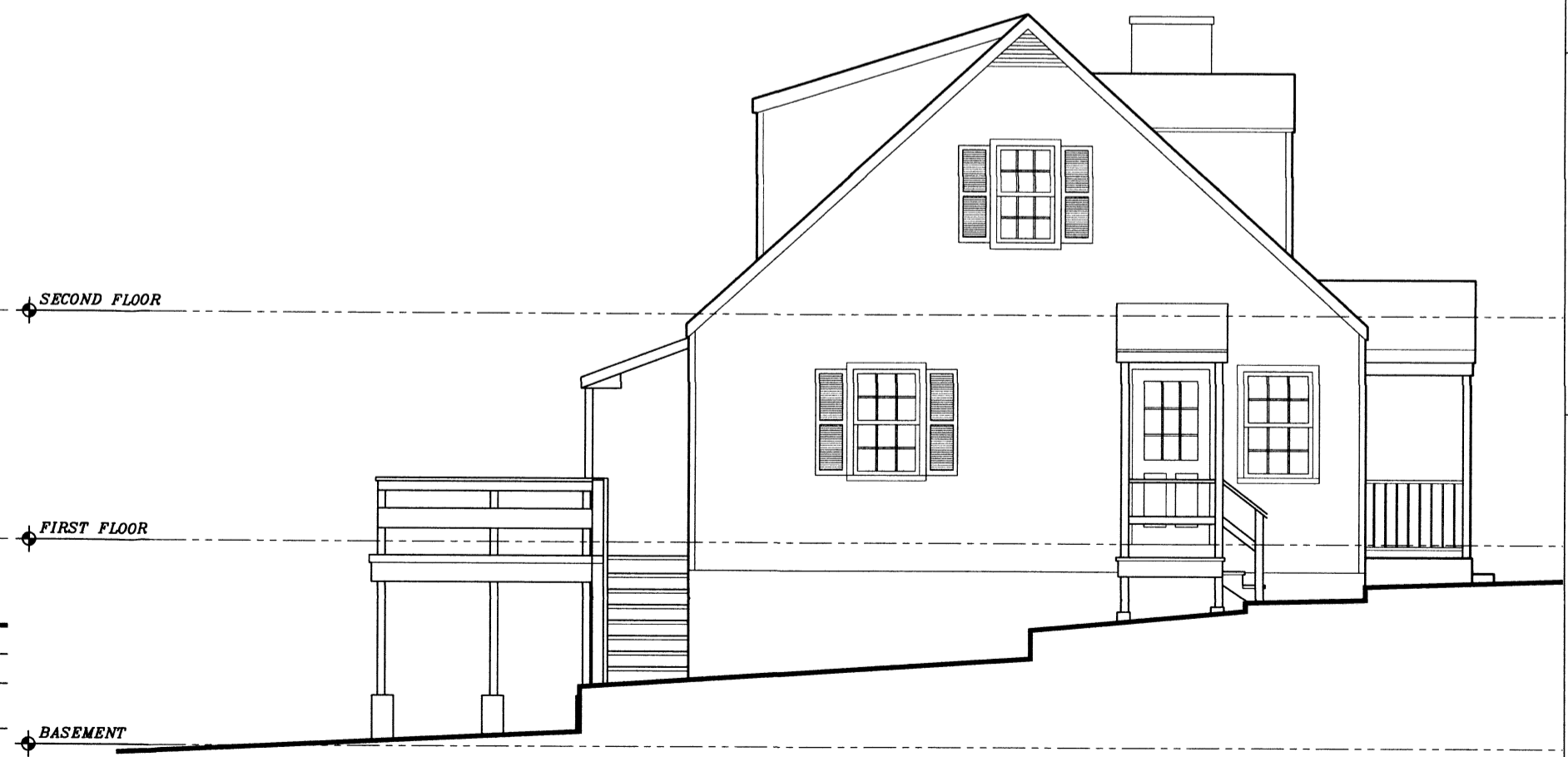
2 EXISTING RIGHT SIDE ELEVATION

1/4" = 1'-0"



3 EXISTING REAR ELEVATION

1/4" = 1'-0"



4 EXISTING LEFT SIDE ELEVATION

1/4" = 1'-0"

NOTES:
WALL LEGEND

RESIDENCE AT:

102 ROCKLEDGE DRIVE
STAMFORD, CT 06902

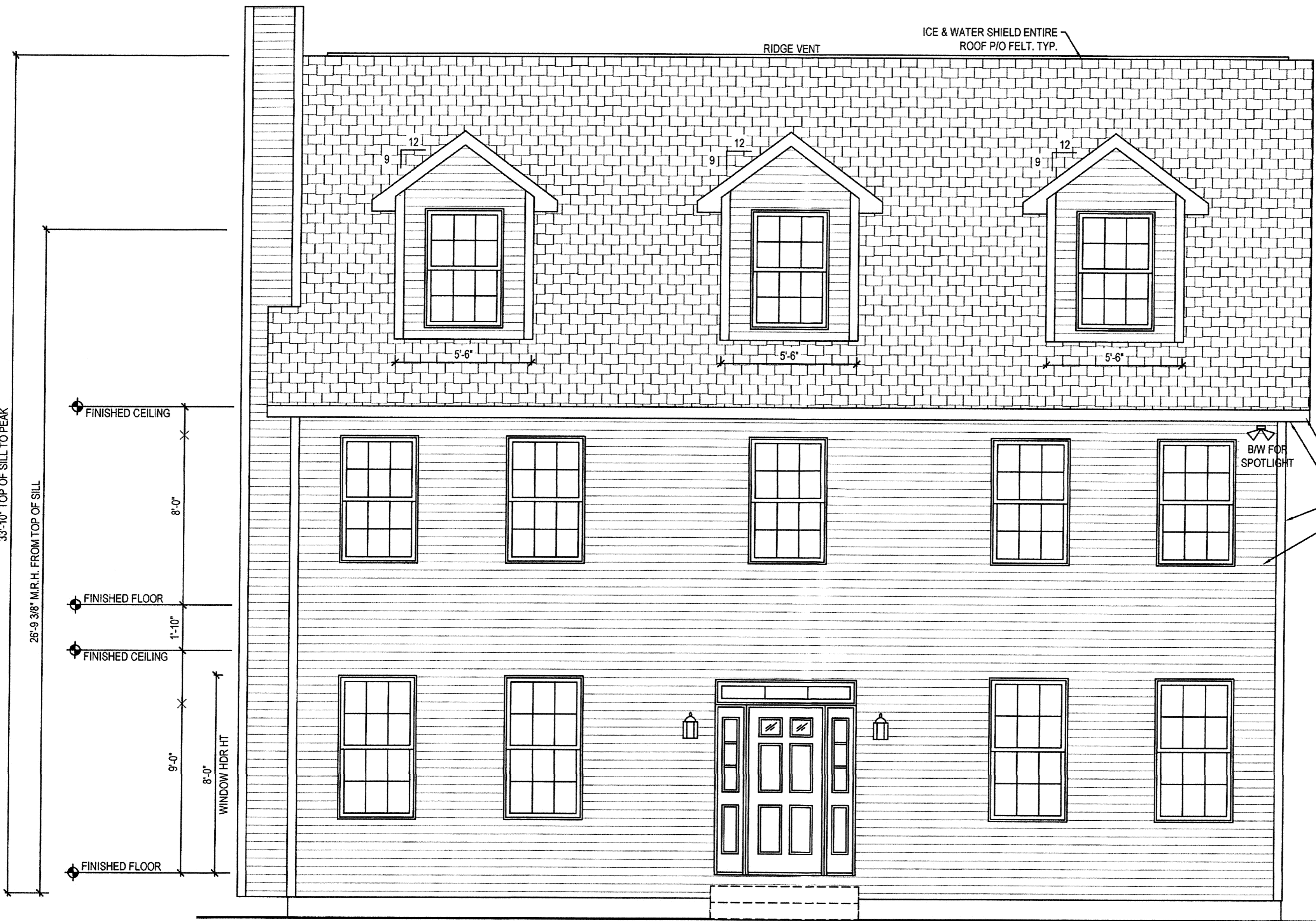
NO.	DATE	DESCRIPTION

SHEET TITLE:
EXISTING ELEVATIONS

ISSUED FOR:

DATE: 7.17.23
 SCALE: 1/4" = 1'-0"
 SHEET NUMBER:
X-2

ENGINEERING #		
223140		
DRAWN BY:	CHECKED BY:	
RAS	XX	
DATE:		
11-22-23		
SALESMAN:		
MATT ROZELLE		
MODEL:		
THREE STORY		
BY:	REVISIONS	
MRF	DATE	REASON FOR REVISION
DSB	12-12-23	REVISIONS PER REQUEST
MRF	12-20-23	REVISIONS PER REQUEST
DSB	2-1-24	REVISIONS PER REQUEST
MRF	6-24-24	REVISIONS PER REQUEST
DSB	7-19-24	STAMPED REQUEST
	7	
	8	



FRONT ELEVATION

ACCESS TO GRADE BY BUILDER

SIGNATURE
— BUILDING SYSTEMS —

BUILDER: ANDREW W MASON
3700 PHELPS ROAD
SUFIELD, CT 06093

RETAIL: MALLOY
102 ROCKLEDGE DRIVE
STAMFORD, CT 06902
FAIRFIELD COUNTY

DRAWING:
FRONT ELEVATION

SCALE:
NTS

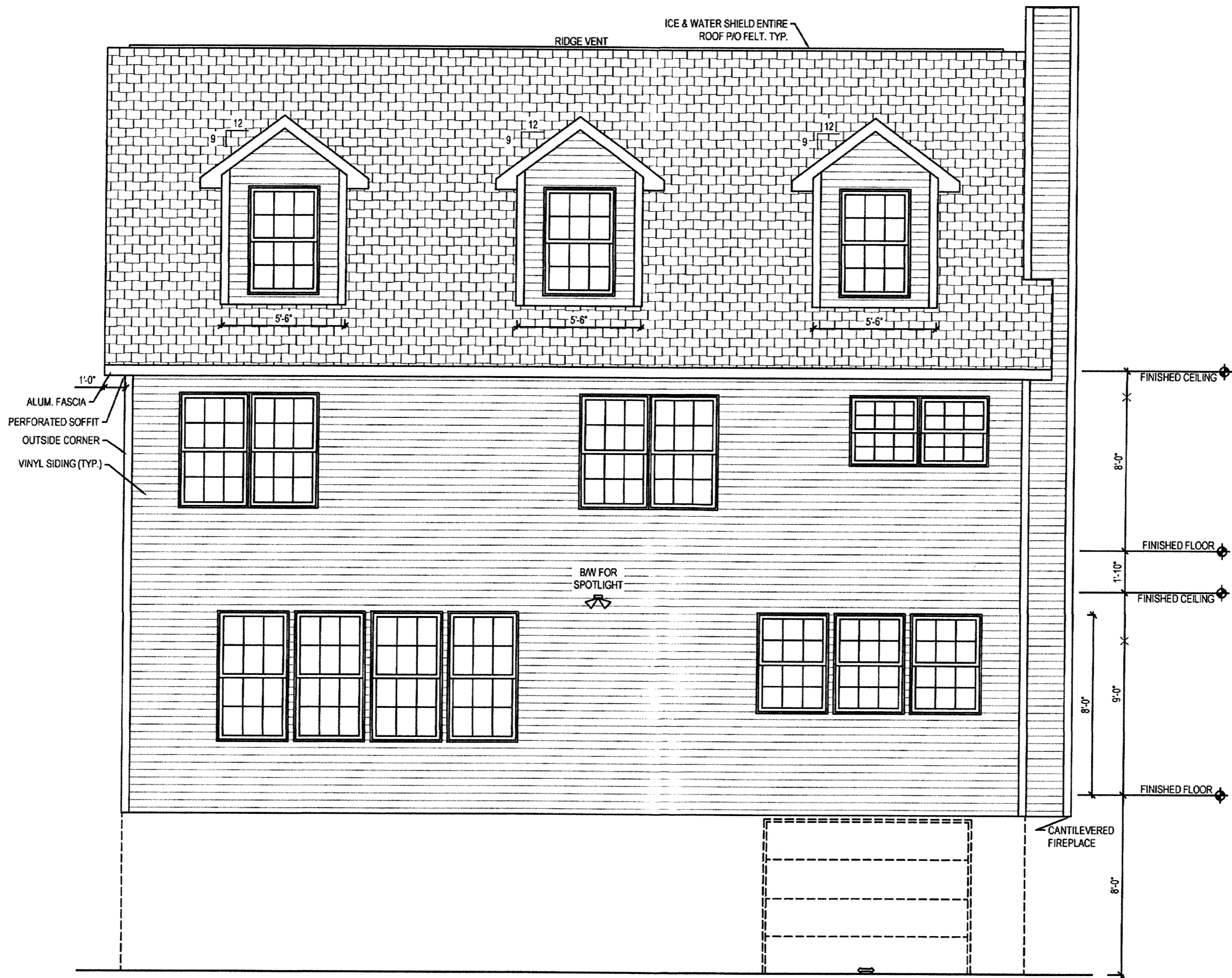
SHEET:

REVISION	DATE	REASON FOR REVISION
1	12-12-23	REVISIONS PER REQUEST
2	12-20-23	REVISIONS PER REQUEST
3	2-1-24	REVISIONS PER REQUEST
4	5-24-24	REVISIONS PER REQUEST
5	7-19-24	REVISIONS PER REQUEST
6		STAMPED REQUEST
7		
8		

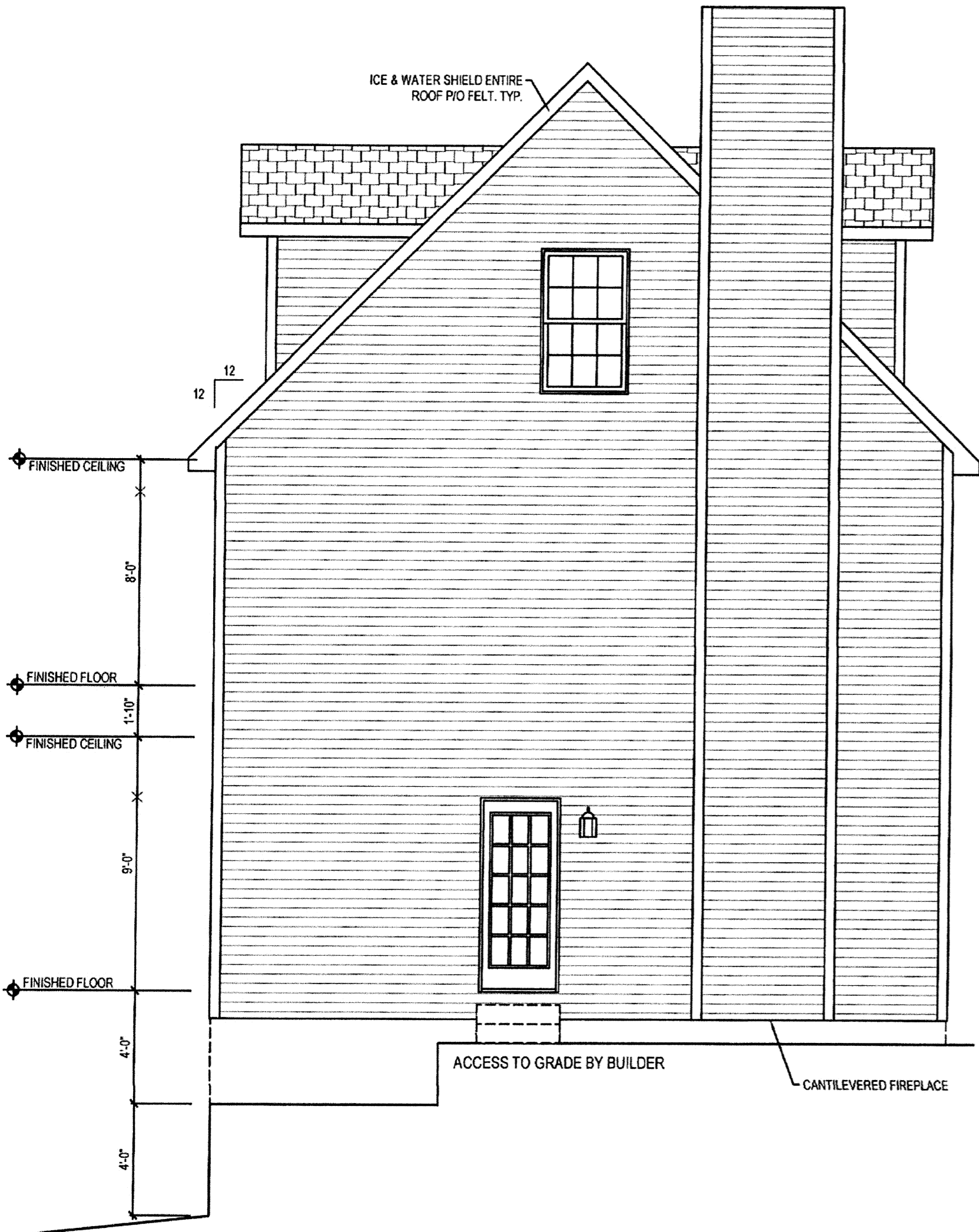
SIGNATURE
 — BUILDING SYSTEMS —

BUILDER: **ANDREW W MASON**
 3700 PHELPS ROAD
 SUFIELD, CT. 06083
 RETAIL: **MALLOY**
 102 ROCKLEDGE DRIVE
 STAMFORD, CT. 06902
 FAIRFIELD COUNTY

DRAWING: FRONT ELEVATION
 SCALE: NTS
 SHEET:



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

ENGINEERING #	
223140	
DRAWN BY:	CHECKED BY:
RAS	XX
DATE:	
11-22-23	
SALESMAN:	
MATT ROZELLE	
MODEL:	
THREE STORY	
REVISION:	REASON FOR REVISION:
1	REVISIONS PER REQUEST
2	REVISIONS PER REQUEST
3	REVISIONS PER REQUEST
4	REVISIONS PER REQUEST
5	REVISIONS PER REQUEST
6	STAMPED REQUEST
7	
8	

SIGNATURE
— BUILDING SYSTEMS —

BUILDER:
ANDREW W MASON
3700 PHELPS ROAD
SUFIELD, CT 06093

RETAIL:
MALLOY
102 ROCKLEDGE DRIVE
STAMFORD, CT 06902
FAIRFIELD COUNTY

DRAWING:
ELEVATIONS

SCALE:
NTS

SHEET:
1c

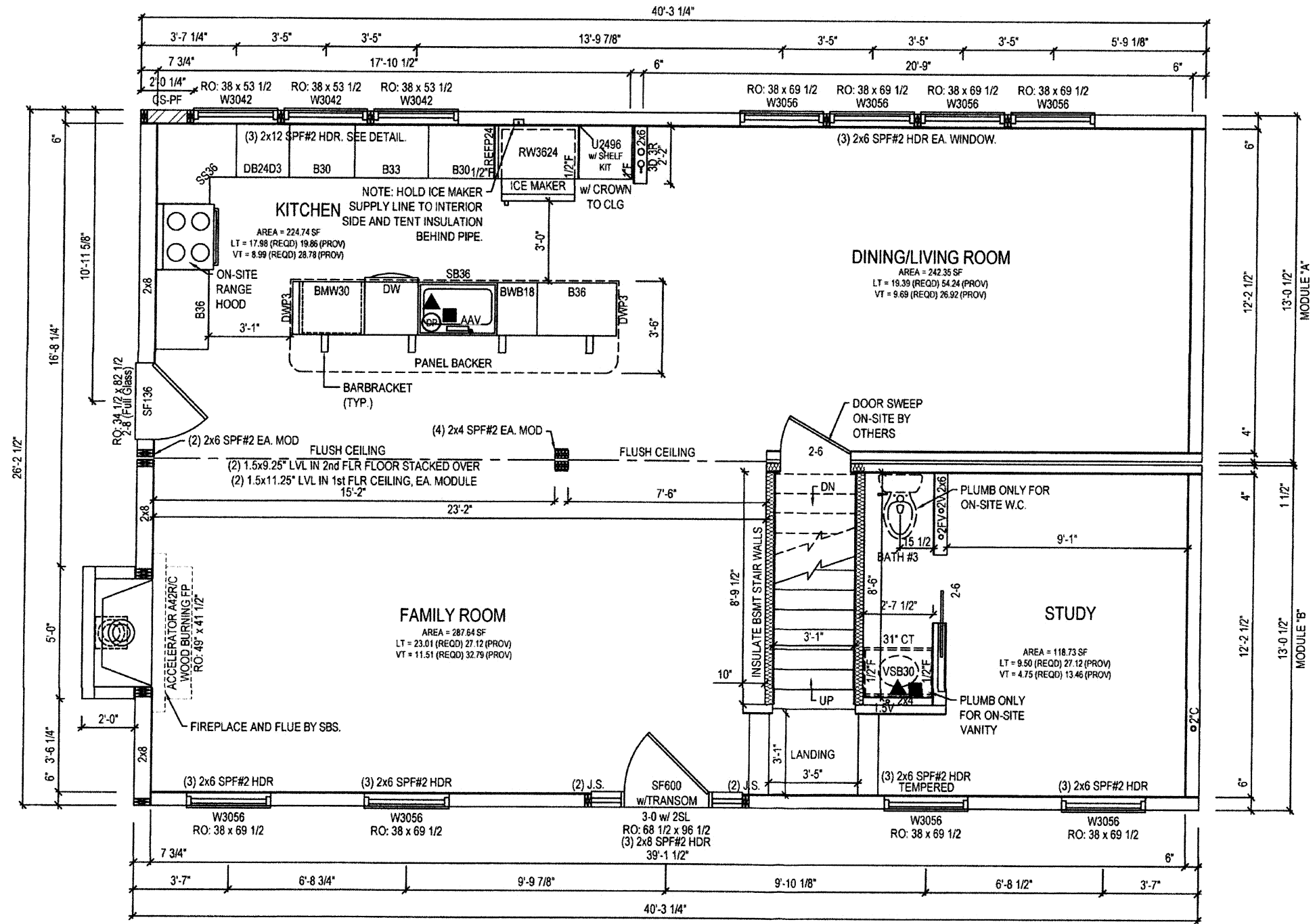
REVISION	DATE	REASON FOR REVISION
1	12-12-23	REVISIONS PER REQUEST
2	12-20-23	REVISIONS PER REQUEST
3	1-1-24	REVISIONS PER REQUEST
4	2-1-24	REVISIONS PER REQUEST
5	3-25-24	STAMPED PLANS
6		
7		



BUILDER: **ANDREW W MASON**
 3700 PHELPS ROAD
 SUFLELD, CT 06959

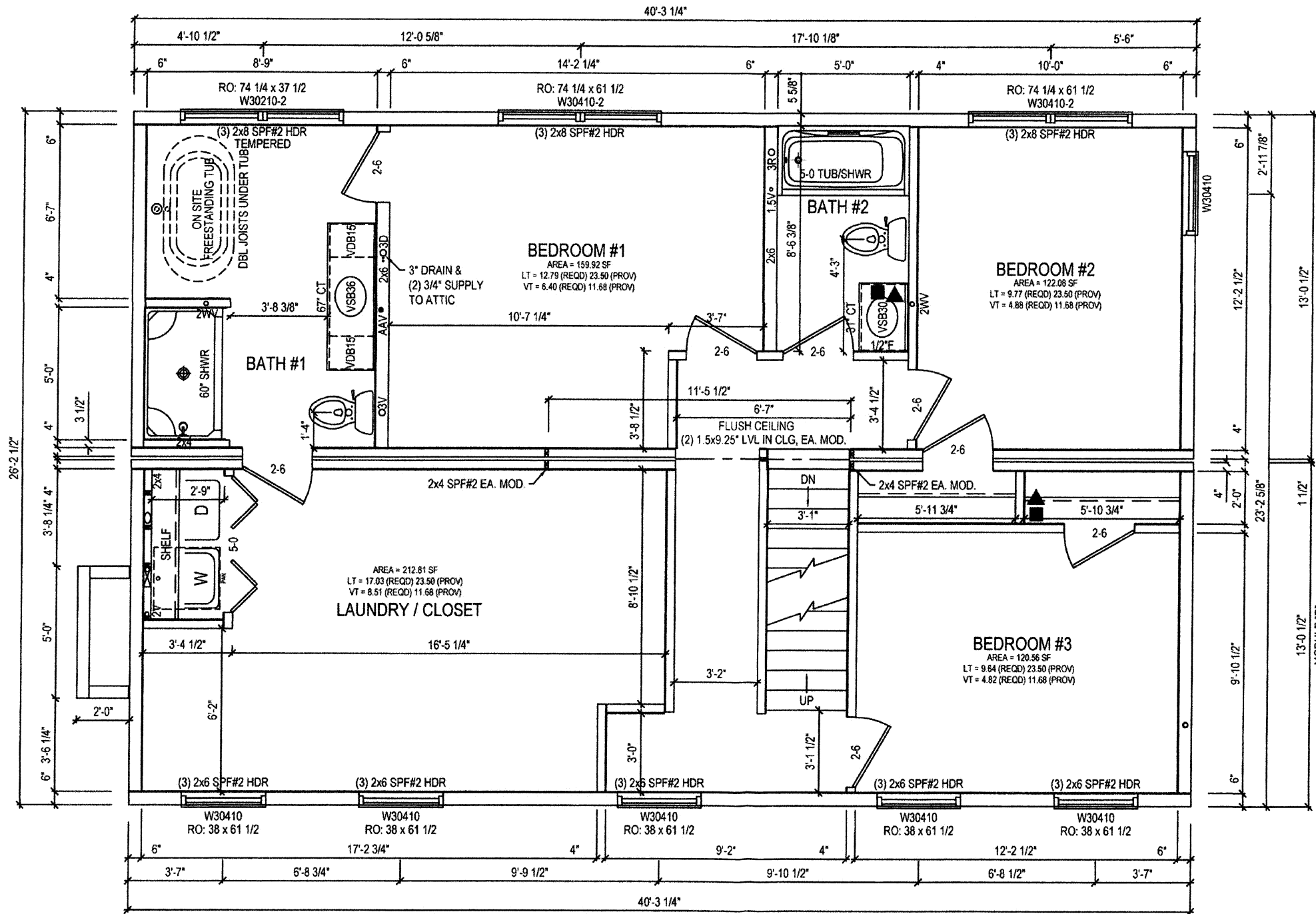
RETAIL: **MALLOY**
 102 ROCKLEDGE DRIVE
 STAMFORD, CT 06902

DRAWING: 1ST FLOOR PLAN
 SCALE: NTS
 SHEET:



- THIS HOME WILL BE ERECTED ON AN EXISTING FOUNDATION.
- ALL SETBACK DISTANCES FOR EXTERIOR WALLS & PROJECTIONS SHALL EXCEED THOSE LISTED IN TABLE R302.1(1) FOR 0-HOUR RATING, UNLESS OTHERWISE NOTED ON PLAN.

FRONT
 9'-0" CLG HT
 8'-0" WINDOW HDR HT U.N.O.



FRONT

8'-0" CLG HT
 6'-10 1/4" WINDOW HDR HT U.N.O.

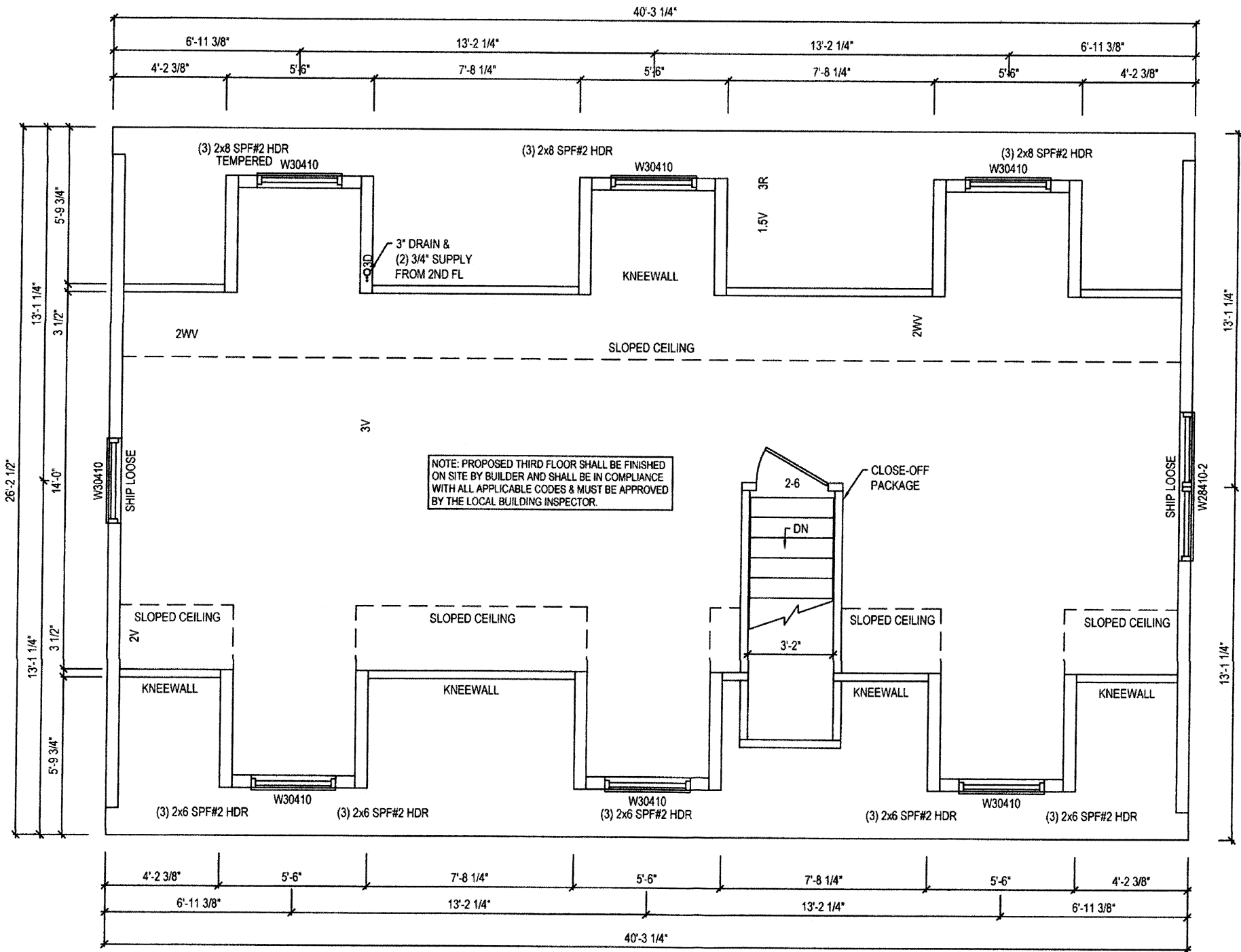
ENGINEERING #	
223140	
DRAWN BY:	CHECKED BY:
RAS	XX
DATE:	
11-22-23	
SALESMAN:	
MATT ROZELLE	
MODEL:	
TWO STORY	
REVISION:	REASON FOR REVISION:
1	REVISIONS PER REQUEST
2	REVISIONS PER REQUEST
3	REVISIONS PER REQUEST
4	REVISIONS PER REQUEST
5	STAMPED PLANS
6	
7	
8	



BUILDER: ANDREW W MASON
 3700 PHELPS ROAD
 SUF-FIELD, CT 06893

RETAIL: MALLOY
 102 ROCKLEDGE DRIVE
 STAMFORD, CT 06902
 FAIRFIELD COUNTY

DRAWING:
2ND FLOOR PLAN
SCALE:
NTS
SHEET:
2b



NOTE: PROPOSED THIRD FLOOR SHALL BE FINISHED ON SITE BY BUILDER AND SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES & MUST BE APPROVED BY THE LOCAL BUILDING INSPECTOR.

FRONT
7'-6" CLG HT

ENGINEERING #		223140	
DRAWN BY:	CHECKED BY:	RAS	XX
DATE: 11-22-23			
SALESMAN: MATT ROZELLE			
MODEL: TWO STORY			
BY:	REVISIONS	REASON FOR REVISION	
MRP	1	REVISIONS PER REQUEST	
USB	2	REVISIONS PER REQUEST	
MRP	3	REVISIONS PER REQUEST	
USB	4	STAMPED PLANS	
MRP	5		
USB	6		
MRP	7		
USB	8		

SIGNATURE

BUILDING SYSTEMS

BUILDER:	ANDREW W MASON 3700 HELPS ROAD SHELTON, CT 06483
RETAIL:	MALLOY 102 ROCKLEDGE DRIVE STAMFORD, CT 06902 FAIRFIELD COUNTY

DRAWING:	ATTIC FLOOR PLAN
SCALE:	NTS
SHEET:	2c