JOHN F. X. LEYDON, JR. \*

# LAW OFFICE OF JOHN F. X. LEYDON, JR., LLC

\*ALSO ADMITTED IN NEW YORK

350 BEDFORD STREET, SUITE 403 STAMFORD, CONNECTICUT 06901 PHONE: (203) 487-3995 CELL PHONE: (203) 253-0489 FAX: (305) 993-2741

E-MAIL: jleydon@jleydon.com

October 7, 2022

# VIA EMAIL AND HAND DELIVERY

Ms. Vineeta Mathur
Associate Planner
Zoning Board
City of Stamford
Stamford Government Center
888 Washington Boulevard, 7th Floor
Stamford, CT 06901

Re:

Deras LLC

Application for Approval of Site and Architectural Plans and/or Requested Uses and Special Permit 60 Strawberry Hill Avenue, Unit L1

Dear Ms. Mathur:

In regard to the above-reference matter, enclosed please find an original and 23 copies of the following:

- 1. Application for Special Permit;
- Application for Approval of Site and Architectural Plans and/or Requested Uses;
- 3. Check made payable to the City of Stamford in the amount of \$1,000.00 for the Public Hearing Fee;
- Check made payable to the City of Stamford in the amount of \$460.00 for the Application Fee;
- 5. Agent authorization letter;
- 6. Project Description;
- 7. Statement of Findings;
- 8. Legal Description;

- 9. A sixteen-page plan prepared by Marinelli Architects Planners, LLC each dated June 14, 2022 indicated as follows:
  - i) CV101 is entitled "Cover Sheet + Location Plan";
  - ii) GN101 is entitled "General Notes";
  - iii) GN102 is entitled "General Conditions";
  - iv) GC101 is entitled "Fire Safety Egress Plan";
  - v) GC102 is entitled "ADA Standards + Requirements";
  - vi) A101 is entitled "Demolition + Partition Plan + Notes";
  - vii) A201 is entitled "Reflected Ceiling Plan + Power-Voice-Data Plan":
  - viii) A301 is entitled "Medical Equipment Location Plan + Access./Plumbing Plan";
  - ix) A501 is entitled "Enlarged Bathroom Plan + Elevations";
  - x) A601 is entitled "Wall Types + Details + Wall Schedule";
  - xi) A602 is entitled "Mounting Heights;
  - xii) A603 is entitled "Miscellaneous Details";
  - xiii) A701 is entitled "Interior Elevations";
  - xiv) A801 is entitled "Millwork Details";
  - xv) A901 is entitled "Finish Plan + Floor Transition Details"; and,
  - xvi) FP101 is entitled "Mechanical Duct Layout Plan + Fire Protection Plan".
- 10. Aerial Photograph of Site (note as "Royal Pavillion Association Inc" in center) and Surrounding Area; and,
- 11. Zoning Data Chart.

Please forward and process the applications and supporting documents appropriately and include this matter on the next available Zoning Board agenda.

Please contact me if you are in need of any further information. Thank you for your assistance.

Very truly yours,

John F. X. Leydon, Jr.

JFXL/dr Enclosures

cc: Ms. Suyen Deras (w/enclosures via email)

Mr. John Marinelli (w/enclosures via email)





#### APPLICATION FOR SPECIAL

#### PERMIT

Complete, notorize, and forward thirteen (13) hard copies and (1) electronic copy in PDF format to Clerk of the Zoning Board with a \$1,000.00 Public Hearing Fee and the required application filling fee (see Fee Schedule below), payable to the City of Stamford.

NOTE: Cost of required advertisements are payable by the Applicant and performance of required mailing to surrounding property owners is the sole responsibility of the applicant. LAND RECORDS RECORDING FEE: \$60.00 for First page -\$5.00 for each additional page)

#### Fee Schedule

Special Permit 20,000 sq. ft. or less	\$460.00
Special Permit more than 20,000 sq. ft.	\$460.00 + \$30 per 1,000 sq. ft. or portion thereof in excess of 20,000 sq. ft.

APPLICANT NAME (S): Deras LLC

APPLICANT ADDRESS: 60 Strawberry Hill Avenue, Unit L1, Stamford, Connecticut 06902

APPLICANT PHONE #: (203) 685-9788

IS APPLICANT AN OWNER OF PROPERTY IN THE CITY OF STAMFORD? Yes.

LOCATION OF PROPERTY IN STAMFORD OWNED BY APPLICANT(S): 60 Strawberry Hill Avenue, Unit L1

ADDRESS OF SUBJECT PROPERTY: 60 Strawberry Hill Avenue, Unit L1

PRESENT ZONING DISTRICT: R-H

TITLE OF SITE PLANS & ARCHITECTURAL PLANS: See Schedule A attached hereto and made a part hereof.

REQUESTED SPECIAL PERMIT: (Attach written statement describing request) See Schedule B attached hereto and made a part hereof.

LOCATION: (Give boundaries of land affected, distance from nearest intersecting streets, lot depths and Town Clerk's Block Number) See Schedule C attached hereto and made a part hereof

NAME AND ADDRESS OF OWNERS OF ALL PROPERTY INVOLVED IN REQUEST:

NAME & ADDRESS

**DERAS LLC** 

60 Strawberry Hill Avenue, Unit L1 Stamford, Connecticut 06902

**LOCATION** 

60 Strawberry Hill Avenue, Unit L1 Stamford, Connecticut 06902

DOES ANY PORTION OF THE PREMISES AFFECTED BY THIS APPLICATION LIE WITHIN 500 FEET OF THE BORDER LINE WITH GREENWICH, DARIEN OR NEW CANAAN? NO\_(If yes, notification must be sent to Town Clerk of neighboring community by registered mail within 7 days of receipt of application – PA 87-307).

DOES THE PROJECT RESULT IN THE CREATION OF 10 OR MORE UNITS OR 10,000 SF OR MORE IN FLOOR AREA OR DISTURBANCE OF 20,000 SF OR MORE IN LAND AREA, THROUGH NEW DEVELOPMENT, RECONSTRUCTION, ENLARGEMENT OR SUBSTANTIAL ALTERATIONS? NO\_ (If yes, then complete the Stamford Sustainability Scorecard per Section 15.F).



City of Stamford

Zoning Board · Land Use Bureau

Government Center  $\cdot$  888 Washington Boulevard  $\cdot$  Stamford, CT 06904-2152

Phone: 203.977.4719 · Fax: 203.977.4100

DATED AT STAMFORD, CONNECTICUT, THIS \_\_\_\_\_\_ DAY OF October, 2022 DERASILLO SIGNED: By\_

Suyen Deras, a member

NOTE: Application cannot be scheduled for Public Hearing until 35 days have elapsed from the date of referral to the Stamford Planning Board. If applicant wishes to withdraw application, please notify the Zoning Board at least three (3) days prior to Public Hearing so that the Board may have sufficient time to publicize the withdrawal.

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STATE OF CONNECTICUT	)	
	) SS:	Stamford
COUNTY OF FAIRFIELD	)	

On this 5 day of October, 2022, before me John F. X. Leydon Jr., the undersigned officer, personally appeared Suyen Deras, who acknowledged herself to be a member of DERAS LLC, a Connecticut limited liability company, and that she as such member, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the limited liability company by herself as member.

In witness whereof I hereunto set my hand.

John F. X. Leydon, Jr.

Commissioner of the Superior Court

## Schedule A

A sixteen-page plan prepared by Marinelli Architects & Planners, LLC each dated June 14, 2022 indicated as follows:

- i) CV101 is entitled "Cover Sheet + Location Plan";
- ii) GN101 is entitled "General Notes";
- iii) GN102 is entitled "General Conditions";
- iv) GC101 is entitled "Fire Safety Egress Plan";
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# SHEDULE B

# SPECIAL PERMIT

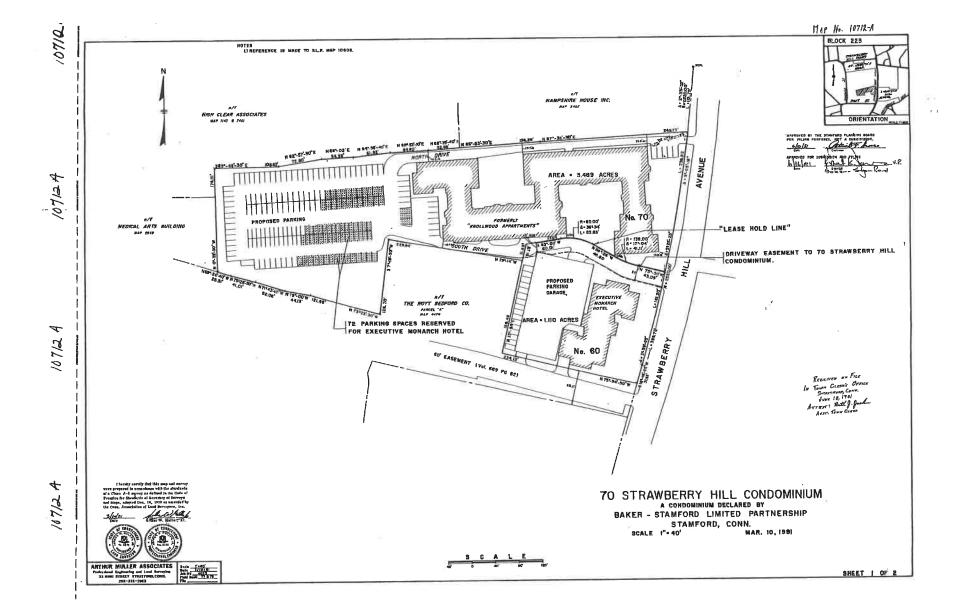
Special Permit under Section 9.K.4.b to allow a Professional Office use on the ground floor.

# **SCHEDULE C**

ALL THAT CERTAIN piece or parcel of real property, together with all the buildings and improvements thereon standing, being a part of the condominium known as ROYAL PAVILION declared under the "Common Interest Ownership Act", Chapter 828 of the Connecticut General Statutes as amended, known and designated as UNIT NO. L-1, 60 Strawberry Hill Avenue, Stamford, Connecticut 06902, together with an undivided interest in the common elements, facilities and limited common elements (which include parking space(s) 77 & 178, 192 & 193) of the Condominium as the same is defined in the Amended Declaration of Condominium by HOTEL HOLDINGS (STAMFORD) LTD. dated October 13, 1986 and recorded in the Stamford Town Clerk's Office on May 5, 1987 at 3:55 p.m., and as amended thereafter.

Said condominium unit is located in the building depicted in the area marked "No. 60" "Area = 1.110 Acres" on a certain map entitled "70 STRAWBERRY HILL CONDOMINIUM a condominium declared by BAKER – STAMFORD LIMITED PARTNERSHIP STAMFORD, CONN. SCALE 1 "=40' MAR. 10, 1981" prepared by Arthur Miller Associates, which map is on file in the Stamford Town Clerk's Office as Map No. 10712A a copy of which is attached hereto and made a part hereof.

The site is approximately 440 feet from the intersection of Strawberry Hill Avenue and Hoyt Street Extension. The lot depth is approximately 235 feet. The site is within Town Clerk Block Number 223.



### DERAS LLC 60 Strawberry Hill Avenue, Unit L1 Stamford, Connecticut 06902

Mr. Ralph Blessing Land Use Bureau Chief City of Stamford Stamford Government Center 888 Washington Boulevard, 7th Floor Stamford, CT 06901

October 5, 2022

Re: Application for Approval of Site and Architectural Plans and/or Request Uses and Special Permit 60 Strawberry Hill Avenue, Unit L1

Dear Mr. Blessing:

Please be advised that the Law Office of John F. X. Leydon, Jr., LLC may serve as the agent in regard to the above-referenced matters.

Very truly yours,

**DERAS LLC** 

Suyen Deras, a member

#### 60 STRAWBERRY HILL AVENUE, UNIT L1 PROJECT DESCRIPTION

#### 1. Introduction

The applicant is the owner of the property commonly known as 60 Strawberry Hill Avenue, Unit L1. This property lies within Master Plan Category 5 (Residential-High Density Multi Family) in the R-H Zone (Multiple Family Design District High Density). The property is approximately 1063 square feet and is located on the ground floor of a 13 story high-rise residential condominium building located across the street from Stamford High School and approximately 1000 feet south of The Tully Health Center. The applicant purchased the property in October of 2019. At the time a doctor had been operating his practice from that location for approximately 15 years to the best of the applicant's knowledge. If approved, the applicant will fit-out the space and one of its owners will operate his medical practice from the site. The applicant is submitting an application for special permit as follows:

Special Permit under Section 9.K.4.b to allow a Professional Office use on the ground floor.

#### 2. Background

The applicant purchased the subject premises in October of 2019 with the intent of operating a medical practice from the site. The purchase was made with the assumption that such a practice could be operated at the site as one had been operating there for 15 years. Unfortunately for the applicant when it took out its application for a building permit to do its fit-out it was advised by the Land Use office that the prior owner did not have a zoning permit or some other authority to operate from the site. Obviously, the news was unsettling to the applicant. Fortunately, this special permit mechanism exists which would allow a medical practice to operate from the unit with the authority of the City of Stamford if the application is approved.

#### 3. Description of the Surrounding Area

The subject premises is located on the east side of Strawberry Hill Avenue across from Stamford High School. Significantly, the site is in proximity to The Tully Health Center and is within a neighborhood with hundreds of condominium and/or apartment units. As the proposed use is small (approximately 1,063 square feet) and is being proposed in space that had for many years been utilized similarly it is anticipated that the use would have no adverse impact on the neighborhood.

#### 4. Description of the Project Area/Proposed Development Site

The site is identified by Tax ID <u>17039</u>. The existing building on the site has existed for decades and is an integrated part of the neighborhood. The building is 13 stories high and pursuant to the zoning regulations the ground floor on which the subject unit is located is the only floor on which a medical office can operate.

#### 5. Conformity of the Proposed Development with the Master Plan

The property is located in Master Plan Category 5 (Residential /High Density Multi-Family). The proposed development is consistent a goal of this category as the proposed development is located on a significant corridor on which other medical uses are located. Specifically, the development would support Policy 7G: create compact and complete communities and Strategy 7G.1 encourage active ground floors for developments along pedestrian routes by providing a pedestrian friendly medical office along a corridor along which hundreds of residential units are located.

#### 6. Description of the Proposed Development

The floor plan has been submitted with this application. The subject doctor operates an internal medicine and a pediatric general medicine practice. He has operated in Westchester County in New York but currently resides in Stamford and would like to establish a practice here in this Strawberry Hill neighborhood. Dr. Rivas has been in practice for 22 years and hopes to provide his services to patients including those residing in the building and/or neighboring buildings.

#### 7. Action(s) Necessary to Facilitate the Project

The applicant is concurrently submitting an Application for Site and Architectural Plans and/or Requested Uses.

#### 8. Conclusion

The applicant seeks to fit-up space that has been used for many years as a medical office. A principal of the applicant is the doctor who would like to operate from the site. He is eager to do so and welcomes the opportunity to become a well-regarded member of the neighborhood in which the unit is located. The applications are consistent with the land use and development goals of the City and, if approved, and fit-out as planned, will provide a positive contribution to the neighborhood.

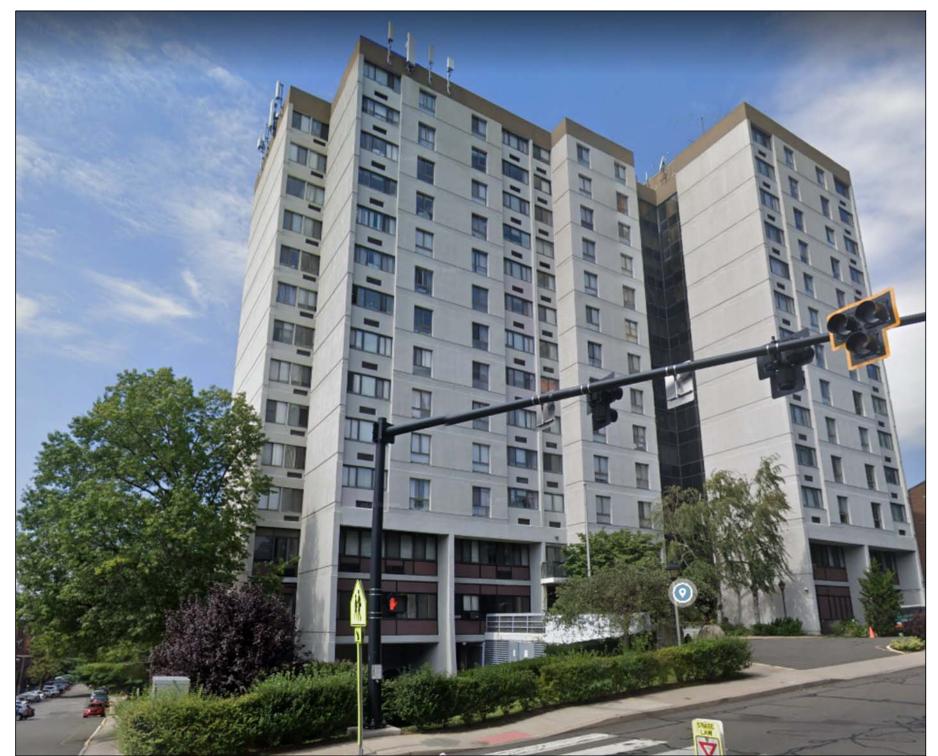
#### October 5, 2022

#### **Statement of Findings**

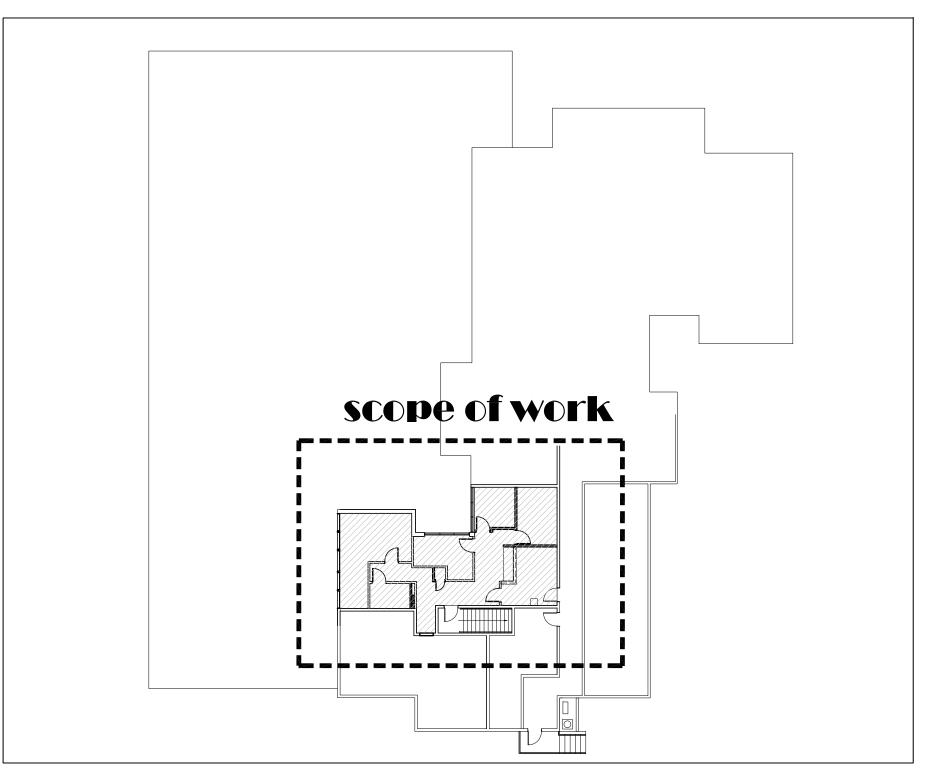
- a. Special permits shall be granted by the reviewing board only upon a finding that the proposed use or structure or the proposed extension or alteration of an existing use or structure is in accord with the public convenience and welfare after taking into account, where appropriate:
- (1) the location and nature of the proposed site including its size and configuration, the proposed size, scale and arrangement of structures, drives and parking areas and the proximity of existing dwellings and other structures.
- 1. As described in the Project Description submitted herewith, the site is located on Strawberry Hill Avenue--a corridor which connects the Downtown to areas in the northeastern portion of Stamford. The subject premises is located within walking distance of The Tully Health Center and other medical offices. The proposed use, if approved, would provide a medical services amenity for tenants of the building in which it is located and others located in this fairly densely populated neighborhood which has multiple high-rise residences. The proposed use would be located within an existing building and therefore would not be disruptive to the neighborhood.
- (2) the nature and intensity of the proposed used in relation to its site and the surrounding area. Operations in connection with special permit uses shall not be injurious to the neighborhood, shall be in harmony with the general purpose and intent of these Regulations, and shall not be more objectionable to nearby properties by reason of noise, fumes, vibration, artificial lighting or other disturbances to the health, safety or peaceful enjoyment of property than the public necessity demands.
- 2. The proposed development is consistent with the Zoning Regulations and the Master Plan as it would provide a pedestrian-friendly ground floor medical services amenity. It is anticipated that residents of the building within which it is proposed would patronize this medical office as would other neighbors residing in nearby buildings.
- (3) the resulting traffic patterns, the adequacy of existing streets to accommodate the traffic associated with the proposed use, the adequacy of proposed off-street parking and loading, and the extent to which proposed driveways may cause a safety hazard, or traffic nuisance.
- 3. The condominium unit in which the medical office is proposed includes four parking spaces which will satisfy the parking needs of the practice. It is anticipated that the doctor/owner of the owner of the unit will have one staff assistant.
- (4) the nature of the surrounding area and the extent to which the proposed use or feature might impair its present and future development.
- 4. As the applicant simply proposes to fit-up an existing space the proposed development would not negatively impact the prospective development of any nearby sites most of which are currently fully developed.
- (5) the Master Plan of the City of Stamford and all statements of the purpose and intent of these regulations.
- 5. The proposed use would have minimal/negligible impact to the area but would provide a useful service for its residents.

# **LEGAL DESCRIPTION**

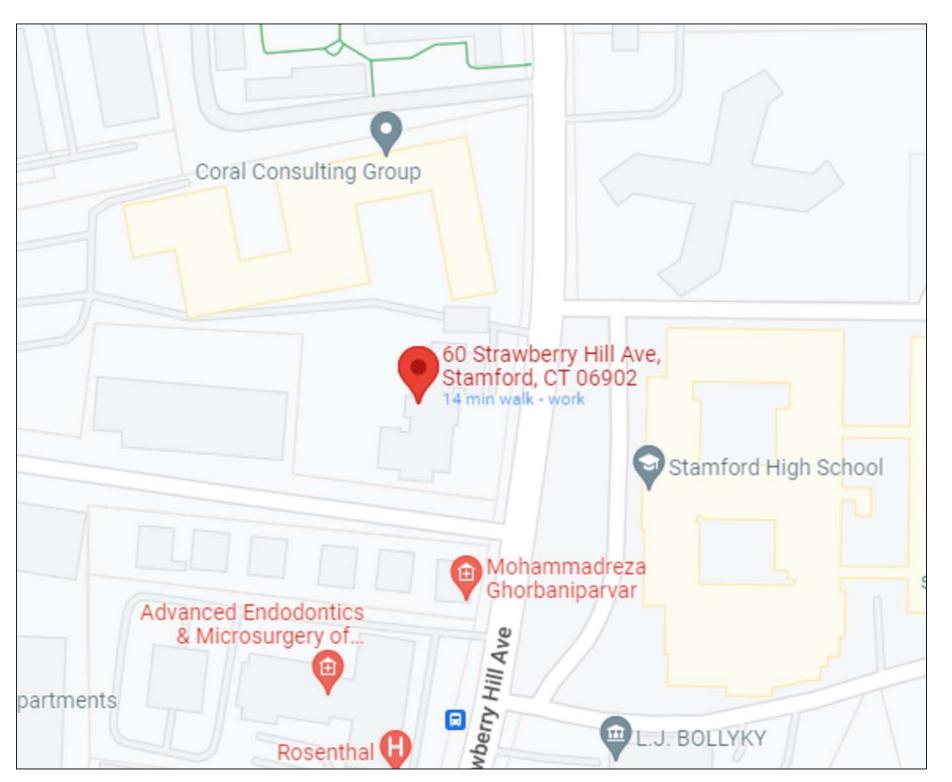
ALL THAT CERTAIN piece or parcel of real property, together with all the buildings and improvements thereon standing, being a part of the condominium known as ROYAL PAVILION declared under the "Common Interest Ownership Act", Chapter 828 of the Connecticut General Statutes as amended, known and designated as UNIT NO. L-1, 60 Strawberry Hill Avenue, Stamford, Connecticut 06902, together with an undivided interest in the common elements, facilities and limited common elements (which include parking space(s) 77 & 178, 192 & 193) of the Condominium as the same is defined in the Amended Declaration of Condominium by HOTEL HOLDINGS (STAMFORD) LTD. dated October 13, 1986 and recorded in the Stamford Town Clerk's Office on May 5, 1987 at 3:55 p.m., and as amended thereafter.



60 Strawberry Hill Avenue



Key Plan N.T.S.



Location Plan N.T.S.

# Stamford Pediatric Care

60 Strawberry Hill Avenue Stamford, Connecticut

# Project Scope of Work

New Pediatric Physician Offices

ABBREVIATIONS:	ARCHITECT:	LIST OF DRAWINGS	GRAPHIC LEGEND
ABV ABOVE NISHED FLOOR CONC COMBINATION FROM FROM FROM FROM FLOOR LTG. STRUCTURAL ABV ABOVE NISHED FLOOR CONC CONCRETE ASSONRY UNIT FINE HIGH LGT	MARINELLI ARCHITECTS + PLANNERS, IIC 1372 SUMMER STREET STAMFORD CONNECTICUT 06905 203 329-0521 CONTACT: JOHN MARINELLI	CV101 COVER SHEET + LOCATION PLAN GN101 GENERAL NOTES GN102 GENERAL CONDITIONS GC101 FIRE SAFETY EGRESS PLAN GC102 ADA STANDARDS + REQUIREMENTS A101 DEMOLITION + PARTITION PLAN + NOTES A201 REFLECTED CEILING PLAN + POWER-VOICE-DATA PLAN A301 MEDICAL EQUIPMENT LOCATION PLAN + ACCESS. / PLUMBING PLAN A501 ENLARGED BATHROOM PLAN + ELEVATIONS A601 WALL TYPES + DETAILS + DOOR SCHEDULE A602 MOUNTING HEIGHTS A603 MISCELLIOUS DETAILS A701 INTERIOR ELEVATIONS A801 MILLWORK DETAILS A901 FINISH PLAN + FLOOR TRANSITION DETAILS FP101 MECHANICAL DUCT LAYOUT PLAN + FIRE PROTECTION PLAN	OFFICE E12  ROOM NUMBER  100  EQUIPMENT TAG  REVISION MARK  1 WALL TYPE  NEW WALLS  SECTION DETAIL  NEW PARTIAL HT. WALL

# Copyright

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MARINELLI ARCHITECTS + PLANNERS, LLC
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FOR THE OWNER AT THE PROJECT LISTED
ON THIS DRAWING, AND IS NOT TO BE
USED FOR ANY OTHER PURPOSE, LOCATION
OR OWNER WITHOUT WRITTEN CONSENT
FROM MARINELLI ARCHITECTS + PLANNERS, L
IF CHANGES ARE MADE TO THE DESIGN OR
STRUCTURE WITHOUT WRITTEN CONSENT
FROM JOHN MARINELLI, THE CONTRACTOR
OR OWNER IS RESPONSIBLE IF THE FINAL
PRODUCT IS UNSATISFACTORY TO THE

Key Plan

NO. DATE ISSUE FOR PERMIT/REVISION

06.14.22 ISSUE FOR PERMIT/BIDS

Droinct

Project

Stamford Pediatric Care 60 Strawberry Hill Ave Stamford, Connecticut

**Drawing**Cover Sheet

Location Plan

Client

DERAS LLC 60 Strawberry Hill Ave Stamford, Connecticut

Consultant

Professional Seal



1372 Summer Street
Stamford, Connecticut 06905

(203) 329-0521 Email: Johnarch@optonline.net www.maeinelliaechitects+plannerslic.com

DRAWN BY:

JCM

DATE:

SCALE:

CV101

# DEMOLITION NOTE WHERE CONTRACTOR'S SCOPE INCLUDES DEMOLITION, THE FOLLOWING NOTES AND CONDITIONS SHALL APPLY:

- 1. This work includes all labor, material, equipment, storage facilities, services and supervision necessary for the complete and satisfactory demolition work indicated on the drawings, specified herein and/or which interferes with new
- 2. Whet protection of existing work to remain shall include the protection of all material, equipment and work liable to damage through operations under this contract. Contractor shall be responsible for all damages occurring from this
- 3. XAPrwork shall be executed in an orderly and careful manner with due
- consideration for public safety, and in conformance with OSHA standards. 4. During demolition operations, prevent dust, dirt and debris from rising or migrating to other areas. In addition, G.C. to protect existing HVAC units from contamination and replace filters upon completion of demolition.
- 5. Removal of any material and equipment shall include all associated items such as supports, fastenings, conduits, flashing, adhesive, etc. Remove as it accumulates, all debris resulting from construction and demolition operations. Do not store or permit debris to accumulate on site. If contractor fails to remove excess debris properly or promptly, tenant or Landlord reserves right to cause same to be removed at contractor's
- 6. 🖾 ୧୯୬୫ ମିନ୍ଦ୍ର-equipment and materials to be reused, described by the term "reset" or "relocate" in the specs or on drawings, shall be disconnected, removed
- 7. And hat ored the G.C.'s responsibility to protect and maintain the integrity of existing finishes in all building core areas not scheduled for demolition work.
- 8. Equipment and material to be disconnected and removed and not required to be reused, as determined by Architect or herein specified, or not shown on the drawings to be reset or retained by Tenant, shall become the property of Contractor and shall be removed from premises. Removed surplus serviceable materials to be retained by Tenant, shall be turned over to him for storage, and located as directed.

# VOC LIMITSALL PRODUCTS CONTAINING VOLATILE ORGANIC CHEMICALS YVOC) SHALL CONFORM TO THE FOLLOWING STANDARDS:

- 1. Adhesives shall not exceed the VOC limit set in SCAQMD Rule #1168: 50 g/L. for VCT and cove base adhesives.
- 2. Paints and coatings shall not exceed the VOC content limits established in Green Seal Standard GS-11 (1993): Flats 50 q/L and Non-flats 150 q/L.
- 3. Millwork finishes shall not exceed VOC content limits established in SCAMD Rule 1113 (2004): Clear wood varnish: 350 g/L, sealers: 200 g/L, shellac: 730 g/L (clear) or 550 g/L (pigmented), stains: 250 g/L.
- 4. Floor coatings shall not exceed a VOC content limit of 100 g/L
- All carpet installed shall meet the testing and product requirements of the 5. Carpet and Rug Institute Greel Label Plus program. Carpet adhesive shall have a VOC limit of 50 g/L.
- 6. Composite wood (plywood, MDF, particleboard, etc.) and agrifiber products, as well as laminating adhesives, shall contain no added urea-formaldehyde

# CONSTRUCTION NOTES

- 1. All work shall be executed in accordance with the best accepted trade practices and industry standards. All products installed per manufacturer's recommendations (highest standard, lowest tolerance to rule) unless otherwise noted.
- 2. Refer to reflected ceiling and partition plans for location of all partitions. Check and verify all dimensions at site and notify Architect of any discrepancies between drawings and field conditions before commencing any work and request clarification. Careful coordination in the fabrication/connection of the two is required.
- 3. Architect shall approve partition layout prior to erection of studs. G.C. shall notify Architect when walls have been laid out on floors.
- 4. G.C. to provide 10 lbs. A.B.C. type fire extinguishers in quantity and locations recommended per NFPA 10 and approved by the architect Fire Marshal during his initial inspection. Any additional life safety equipment required by the local Fire Marshal shall be installed at the approved unit prices.
- 5. G.C. to install all required fire proof wood ground and blocking, electrical power and connections and plumbing roughing and connections for appliances, sinks and wall—hung cabinetry. Wood blocking to be provided inside all walls where millwork or furniture is to be installed. All wood blocking shall be fire treated for use in commercial space. G.C. to confirm locations with Architect and millwork / furniture installer.
- 6. Walls shown aligned (except at columns) shall be finished flush and smooth with existing work.
- 7. Partitions extending to slab shall be installed with acoustical tape or similar material between head track and underside of slab above. The intent is to acoustically seal the two together.
- 8. Where applicable, all missing or damaged parts of peripheral window curtain wall and vertical window mullion covers shall be replaced with new matching parts. Walls abutting window mullions must not prevent window operation. All joints of sound baffle must be tightly sealed.
- 9. Any existing walls to remain which abut or adjoin new construction shall be finished smooth and to match adjacent wall finish unless otherwise noted.
- 10. All existing partitions shall be properly prepared, spackled and sanded, to provide a perfectly smooth finish and surface.
- 11. Consult finish drawings to coordinate new with existing finishes and any joints resulting therewith. Architect to be notified prior to submission of bid of any condition not noted on plans which would result in two dissimilar materials butting without some method of transition between the two.
- 12. G.C. to coordinate, for ease and rapidity of construction, the work of other trades. All slots, sleeves, and other openings to be coordinated. For locations and quantities architectural drawings supersede engineering drawings. G.C. to notify Architect of any discrepancies or missing information prior to construction.
- 13. See individual drawings for additional notes an symbols used. The following items, but not limited to, are among those items that have long lead times. The G.C. shall be responsible for ordering these items promptly, and will pay any charges incurred as a result of neglect of timely order placement. Any delays will therefore be the G.C.'s responsibility unless the Architect is notified immediately that an item cannot be sourced to meet the schedule agreed upon:
- Lighting fixtures and transformers Wallcovering, tile and stone Doors, frames and hardware U.P.S. units - HVAC units, diffusers, grilles, ducts Windows, frames Flooring (including raised floor)
   Movable Partition - Special millwork, casework
- 14. G.C. is responsible to provide complete drawing sets as indicated on index, to each subcontractor providing a bid All work shall be set in accordance with dimensions shown on drawings, legends, notes and details. Scaling of drawings is not acceptable. In all areas where demolition causes unevenness or voids in floor, the G.C. shall patch to level floor with existing slab and/or required surface to receive new finished floor.

# FINISH NOTES

- 1. All metal parts (i.e. door frames, doors, HVAC enclosures) to be painted with a semi—gloss Alkyd base paint color to be same as adjacent surfaces unless otherwise noted.
- 2. All wall and floor finishes shall be applied and surfaces prepared in accordance with the manufacturer's specifications for the particular surface. Examine all finish material for defects and color variations prior to
- 3. An 18" x 18" sample of all finish materials to be submitted for approval by Architect prior to placing a order for material.
- 4. All subcontractors to protect the work of other contractors when performing their work. G.C. is responsible for all damage caused by his subcontractors.
- 5. Flame spread ratings for all interior finishes to be Class A. Provide written confirmation of flame spread testing to Building and Fire Departments.
- 6. Flooring contractor shall flash patch areas where sub-floor is unacceptable for installation of finish flooring.
- 7. Floor covering in closets shall be same as that of the space into which the closet doors open, unless otherwise noted.
- 8. Where dissimilar floor types abut, a suitable transition strip shall be installed. Submit sample for approval to Architect. Where carpet seams occur in doorways, locate seam under center of doors. See transition details herein.
- 9. Provide and install all resilient tile flooring in accordance with manufacturer's instructions. Resilient flooring shall be installed with grain running in one (1) direction unless otherwise noted.
- 10. Resilient flooring to receive two (2) applications of sealer, thoroughly machine buffed, before cleaning.
- 11. Contractor shall notify the Architects of any exposed surfaces not having a finish specified prior to submitting final bid.
- 12. Before proceeding with his work, the contractor shall carefully inspect all surfaces to be painted or finished and shall notify the Architects of any defects, improper materials, workmanship or other conditions which in his opinion will affect the satisfactory completion and permanency of his work. The absence of any such notification will be construed as an acceptance by the Contractor of all such surfaces.
- 13. Use products of same manufacturer furnishing first or primer sealer coats of that particular surface for succeeding coats, except where metal primer is used. Acceptable manufacturer is Benjamin Moore or approved equal.
- 14. Colors and types of paint not listed or indicated on a color schedule on drawing will be selected by the Architects. The various surfaces shall be painted or finished with one (1) primer coat and sufficient finish coat(s) to cover material uniformly and completely.
- 15. All drywall surfaces shall be prepared to receive wall finish. All scratches, cracks, holes or similar defects shall be properly cut out and filled with spackling compound, or other patching material as may be required.
- 16. Patched portions shall be given a coat of primer sealer in addition to all other special coats.
- 17. Wall to be matte finished, rolled. Access doors, bucks and other metal work to be semi-gloss finish and to be same color as wall in which they occur. If wall is finished in wallcovering or cloth, match color as closely as possible. Ceiling and soffit finish flat typically.
- 18. All walls to receive new 4" high rubber base unless otherwise noted. Firmly
- cement base to walls and other surfaces with manufacturers approved 19. GdD.esilvall remove all debris and remnants after installation by third parties.
- 20. At completion of work, all subcontractors to remove from the premises, surplus materials and debris. Contractor to clean his work of any packing material and construction dirt caused by his work.
- 21. Window treatment to be installed in accordance with Manufacturers
- instructions and in compliance with Building Management requirements. 22. All doors to be finished as per Architect's sample. To match sample, apply a
- minimum of two (2) coats of finish to cover properly and to provide a 23. Surbootintripolisms to pack and label all attic stock as called for on the Architects' drawings. Owner to provide location for subcontractor to deliver attic stock to be stored. Paint, wallcover, carpet, tile, marble, VCT and
- ceiling tile are materials which shall be stocked 24. Provide cove type base for areas where resilient flooring is specified; straight base at carpeted area. Base color and height shall be specified. The contractor is to verify with the designer if no specification is noted flooring
- 25. All carpet not previously treated to be treated for static resistance of 3KV
- or less using topical anti-static carpet spray "Ramsey" or equal. 26. All cabinetwork shall comply with Premium Grade requirements of Architectural Woodwork Quality Standards, Guide Specifications and Quality Certification Program, Latest Addition.
- 27. Flooring subcontractor to submit schedule and maintenance requirement to tenant for all installed floor covering. Also, submit maintenance proposal for 1 year service contract.
- 28. If a range of variations in textures, grain, color or other characteristics may be anticipated in finished materials, assemblies or elements of the Work, a sufficient number of samples of such materials or products shall be submitted to indicate the full range of characteristics which will be present in the materials or products proposed for the Work. Any such materials or products delivered or selected prior to the Architect's review and approval of the full range of Samples shall be subject to rejection, all at the sole cost and expense of the Contractor and without additional costs, of any kind or
- nature, to the Owner. 29. Samples shall be submitted from the same source, color and lot which shall actually supply the Project. Samples shall be of adequate size to show quality, type, range, finish, texture and other specified characteristics.

# DOOR / HARDWARE NOTES

- 1. All doors and frames to be installed plumb and level. Accurately aligned and securely anchored. Adjust doors and hardware for smooth operation.
- 2. All door finishes to be approved by Architect.
- 3. All veneer to run from top to bottom of door and to be free from any imperfections. "Patching" will not be accepted.
- 4. Submit door and hardware schedule to Architect for review prior to ordering or fabrication.
- 5. All solid core veneer doors to be constructed in accordance with A.W.I. quality standards Sec. 1300-6-3 Type PC-5 Type construction using 5-ply hot process acceptable manufacturers:
  - a Algoma Hardwoods b. Eggers Industries c. Weyerhauser Co.
- 6. Consult tenant regarding additional information about security system and keying. All locks to be keyed to base building grand master system. See door schedule for additional information.
- 7. All hardware is to be installed with concealed fasteners.
- 8. Provide temporary hardware if delays in acquiring finish hardware will prevent installation of doors on time. Patch any damage from temporary hardware.
- 9. All lock and latchsets and pulls to be mounted with a 2 3/4" backset (U.N.O.).
- 10. Consult door schedule for door types, finish and hardware specifications.
- 11. Provide two (2) keys for all specified locksets and turn over to new tenant prior to move—in.

# ELECTRICAL NOTES

- 1. G.C. shall be responsible for circuiting, performance and Code compliance of
- 2. Electrical outlet placement is for location only; refer to electrical drawings
- for circuiting and loads. 3. Install outlets at 18" A.F.F. except where otherwise noted, or match existing
- height where new and existing are in same space. 4. All floor outlets shall be installed as close to dimensioned location as
- possible, tolerance of 6". If installation cannot be implemented within the allowable tolerance then the Architect must be notified to select best alternate placement.
- 5. Power and signal service to furniture panel system electrified raceway shall be routed through nearest drywall column enclosure, partition or perimeter chase space. Where none of the above elements abut panel systems, the electrical, telephone and/or signal cable shall be installed in hung ceiling space of floor below, and stubbed up through slab coring in building standard manner in approved locations to be determined from electrical engineering drawings. All new power junction boxes shall be provided by the electrical contractor. Furniture dealer shall supply electrical whip connector for furniture systems. Final connection of electrical whip to furniture system and installation of receptacles to be by electrical contractor. Quantity of duplex receptacles in furniture raceway as shown on plan.
- 6. Electrical panels and doghouses shall be fully labeled with circuit and location identification numbers as indicated on drawings.
- 7. All new switches to be "ganged" whenever more than one switch is to be installed. All new fluorescent fixtures to be supplied with energy efficient ballasts and warm white tubes unless noted otherwise.
- 8. During the entire period of construction all existing exits, exit lighting, fire protective devices and fire alarms shall be maintained.
- 9. Use architectural plans for lighting quantities and locations, use engineering drawings for circuiting.
- 10. All corridors and open areas to be circuited as per engineering drawings.
- 11. All wiring per code no 'Romex' allowed.
- 12. Provide dimable ballast fot lights in exam room and offices.

# MECHANICAL NOTES

Ductwork sizing and layout

- 1. Complete HVAC design and installation to meet or exceed design criteria
- established on base building engineering design standards. 2. At completion of installation, test and balance all controls and systems. Correct any deficiencies and submit balancing report to engineer and
- architect. Balancing report to be by accredited independent firm. 3. G.C. shall be responsible for HVAC system performance and Code compliance.
- 4. Architect's drawings are prepared assuming that building standard, or available mechanical and electrical facilities are sufficient for the given
- 5. Verification of existing capacities in relationship to client needs is the responsibility of the Mechanical and Electrical Engineer. This includes checking volume and temperatures of air being supplied to the area prior to any ductwork design. Architect to be notified if quantities are inadequate.
- 6. It shall be assumed that the submission of the G.C.'s proposal indicates positive confirmation of the adequacy of the building mechanical and electrical services available for a specific project.
- 7. The licensed engineer and his subcontractors are to provide complete engineering services and drawings, for tenant HVAC, Fire Protection, plumbing and electrical systems. Services to include, but not be limited to:
- Fire damper locations Shop drawings — Preparation and sealing of required drawings— Diffuser and register locations Testing and balance report Unit and equipment design
- 8. G.C.'s engineering services to include balancing of air conditioning within altered spaces. Balancing to be within base building engineering design standards. Balancing report to be submitted to Architect and Building Management for records.
- 9. All engineering drawings and shop drawings shall be submitted to Engineer and Architect for review prior to fabrication. Review shall be for conformance to design layout and aesthetic consideration only. All submissions will be expedited as quickly as possible.

As-built drawings

- 10. All HVAC, plumbing and electrical design work shall conform to industry standards and shall be in compliance with local and state laws and the building code of regulatory agencies having jurisdiction. (Reference highest
- standard and lowest tolerance). 11. Architect shall have final approval of all wall—mounted control equipment locations including but not limited to thermostats, horn/strobes, sensors, pull
- stations and card readers. 12. Existing mechanical and plumbing service to be restored to original condition after construction is complete.

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**Key Plan** 

**Issues / Devisions** NO. DATE ISSUE FOR PERMIT/REVISION 06.14.22 ISSUE FOR PERMIT/BIDS

> > Project

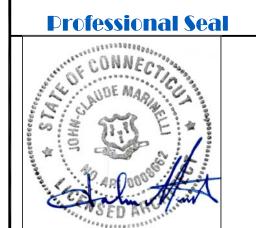
Stamford Pediatric Care 60 Strawberry Hill Ave Stamford, Connecticut

Drawing General Notes

Stamford. Connecticut

Client DERAS LLC 60 Strawberry Hill Ave

Consultant





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DRAWN BY: JCM

DRAWING NUMBER

#### **SECTION 01230 - ALTERNATES** 1.1 DEFINITIONS

Alternate: An amount proposed by bidders and stated in the construction documents and defined in the Bidding Requirements that may be added to or deducted from the Base Bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.

1. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

#### 1.2 PROCEDURES A. Coordination: Modify or adjust affected adjacent work as necessary to completely

integrate work of the alternate into Proiect. 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not

indicated as part of alternate. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated

modifications to alternates. Execute accepted alternates under the same conditions as other work of the Contract.

# 1.3 SCHEDULE OF ALTERNATES

A. See individual drawings for requested Alternates

# **SECTION 01270 UNIT PRICES**

1.1 DEFINITIONS

Unit price is an amount proposed by bidders, a price per unit of measurement for materials or services added to or deducted from the Contract Sum by appropriate modification, if estimated quantities of Work required by the Contract Documents are increased or decreased. 1.2 PROCEDURES

Unit prices include all necessary material, plus cost for delivery, installation, insurance, applicable taxes, overhead, and profit.

Measurement and Payment: Refer to individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.

Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.

1.3 LIST OF UNIT PRICES A. General Contractor to provide comprehensive list of unit prices as part of his bid submittal.

# **SECTION 01330 - PROJECT SUBMITTALS**

1.1 SUBMITTAL PROCEDURES A. Coordination: Coordinate preparation and processing of submittals with performance of construction activities.

1. Coordinate each submittal with fabrication, purchasing, testing, delivery, other submittals, and related activities that require sequential activity.

2. Coordinate transmittal of different types of submittals for related parts of the Work so processing will not be delayed because of need to review submittals concurrently for coordination. Architect reserves the right to withhold action on a submittal requiring

coordination with other submittals until related submittals are received. B. Processing Time: Allow enough time for submittal review, including time for resubmittals, as follows. Time for review shall commence on Architect's receipt of submittal. No extension of the Contract Time will be authorized because of failure to transmit submittals enough in advance of the Work to permit processing, including resubmittals. 1. Initial Review: Allow 10 business days for initial review of each submittal. Allow

additional time if coordination with subsequent submittals is required. Architect will advise Contractor when a submittal being processed must be delayed for coordination. Intermediate Review: If intermediate submittal is necessary, process it in same

manner as initial submittal. Resubmittal Review: Allow 5 business days for review of each resubmittal. C. Identification: Place a permanent label or title block on each submittal for identification.

Indicate name of firm or entity that prepared each submittal on label or title block. Provide a label or beside title block to record Contractor's review and approval markings and action taken by Architect.

Include the descriptive information on label for processing and recording action

Deviations: Highlight, encircle, or otherwise specifically identify deviations from the

Contract Documents on submittals. Submission Copies: Three (3) copies of drawings, cuts and samples shall be sent to the architect for review. One set shall be retained by Architect and mark-up returned to the Contractor with 2 additional copies of drawings and cuts. Architect observes noncompliance with provisions in the Contract Documents; initial submittal may serve as

final submittal. Transmittal: Package each submittal individually and appropriately for transmittal and handling. Transmit each submittal using a transmittal form. Architect will return

submittals, without review, received from sources other than Contractor. Resubmittals: Make resubmittals in same form and number of copies as initial

submittal Note date and content of previous submittal.

Note date and content of revision in label or title block and clearly indicate extent of Resubmit submittals until they are marked "No Exception Taken." "Make

Corrections Noted", shall be returned for record only. Distribution: Furnish copies of final submittals to manufacturers, subcontractors, suppliers, fabricators, installers, authorities having jurisdiction, and others as necessary

for performance of construction activities. Show distribution on transmittal forms. Use for Construction: Use only final submittals with mark indicating "No Exception Taken." "Make Corrections Noted", taken by Architect.

1.2 SUBMITTALS A. Product Data: Collect information into a single submittal for each element of construction and type of product or equipment:

1. Number of Copies: Submit three (3) copies of Product Data, unless otherwise indicated. Architect will return two (2) copies of reproducible drawings and cuts. Shop Drawings: Prepare Project-specific information, drawn accurately to scale. Do not base Shop Drawings on reproductions of the Contract Documents or standard printed

data. Fully illustrate requirements in the Contract Documents. Samples: Submit Samples for review of kind, color, pattern, and texture for a check of these characteristics with other elements and for a comparison of these characteristics between submittal and actual component as delivered and installed.

1.3 CONTRACTOR'S REVIEW A. Review each submittal and check for coordination with other Work of the Contract and for compliance with the Contract Documents. Note corrections and field dimensions. Mark

with approval stamp before submitting to Architect. Approval Stamp: Stamp each submittal with a uniform, approval stamp. Include Project name and location, submittal number, Specification Section title and number, name of reviewer, date of Contractor's approval, and statement certifying that submittal has been reviewed, checked, and approved for compliance with the Contract Documents. 1.4 ARCHITECT'S ACTION

General: Architect will not review submittals that do not bear Contractor's approval stamp and will return them without action.

Action Submittals: Architect will review each submittal, make marks to indicate corrections or modifications required, and return it. Architect will stamp each submittal with an action stamp and will mark stamp appropriately to indicate action taken, as follows:

Informational Submittals: Architect will review each submittal and will not return it, or will return it if it does not comply with requirements. Architect will forward each submittal

Partial submittals are not acceptable, will be considered nonresponsive, and will be returned without review.

Submittals not required by the Contract Documents may not be reviewed and may be

#### SECTION 01440 QUALITY REQUIREMENTS 1.1 CONFLICTING REQUIREMENTS

General: If compliance with two or more standards is specified and the standards establish different or conflicting requirements for minimum quantities or quality levels, comply with the most stringent requirement. Refer uncertainties and requirements that are different, but apparently equal, to Architect for a decision before proceeding.

Minimum Quantity or Quality Levels: The quantity or quality level shown or specified shall be the minimum provided or performed. The actual installation may comply exactly with the minimum quantity or quality specified, or it may exceed the minimum within reasonable limits. To comply with these requirements, indicated numeric values are minimum or maximum, as appropriate, for the context of requirements. Refer uncertainties to Architect for a decision before proceeding.

1.2 SUBMITTALS

A. Qualification Data: For testing agencies specified in "Quality Assurance" Article to demonstrate their capabilities and experience. Include proof of qualifications in the form of a recent report on the inspection of the testing agency by a recognized authority.

documents or local authorities having jurisdiction over the project. Permits, Licenses, and Certificates: For Owner's records, submit copies of permits, licenses, certifications, inspection reports, releases, jurisdictional settlements, notices, receipts for fee payments, judgments, correspondence, records, and similar documents,

Reports: Prepare and submit certified written reports where required by the contract

established for compliance with standards and regulations bearing on performance of the

# 1.3 QUALITY ASSURANCE

Installer Qualifications: A firm or individual experienced in installing, erecting, or assembling work similar in material, design, and extent to that indicated for this Project, whose work has resulted in construction with a record of successful in-service

performance. Manufacturer Qualifications: A firm experienced in manufacturing products or systems similar to those indicated for this Project and with a record of successful in-service performance, as well as sufficient production capacity to produce required units.

indicated for this Project and with a record of successful in-service performance, as well as sufficient production capacity to produce required units. Factory-Authorized Service Representative Qualifications: An authorized representative of manufacturer who is trained and approved by manufacturer to inspect installation of manufacturer's products that are similar in material, design, and extent to those indicated

Fabricator Qualifications: A firm experienced in producing products similar to those

for this Project. QUALITY CONTROL

Owner Responsibilities: Where quality-control services are indicated as Owner's responsibility, Owner will engage a qualified testing agency to perform these services. Costs for retesting and reinspecting construction that replaces or is necessitated by work that failed to comply with the Contract Documents will be charged to Contractor.

Tests and inspections not explicitly assigned to Owner are Contractor's responsibility Unless otherwise indicated, provide quality-control services specified and those required by authorities having jurisdiction, whether specified or not.

# **SECTION 01440 - QUALITY REQUIREMENTS - CONTINUED**

Retesting/Reinspecting: Regardless of whether original tests or inspections were Contractor's responsibility, provide quality-control services, including retesting and reinspecting, for construction that replaced Work that failed to comply with the Contract Documents

E. Coordination: Coordinate sequence of activities to accommodate required quality-assurance and -control services with a minimum of delay and to avoid necessity of removing and replacing construction to accommodate testing and inspecting.

REPAIR AND PROTECTION General: On completion of testing, inspecting, sample taking, and similar services, repair damaged construction and restore substrates and finishes. Comply with the Contract Document requirements for Division 1 Section "Cutting and Patching."

Protect construction exposed by or for quality-control service activities Repair and protection are Contractor's responsibility, regardless of the assignment of responsibility for quality-control services.

#### **SECTION 01731 - CUTTING AND PATCHING** QUALITY ASSURANCE

Structural Elements: Do not cut and patch structural elements in a manner that could change their load-carrying capacity or load-deflection ratio.

Operational Elements: Do not cut and patch operating elements and related components in a manner that results in reducing their capacity to perform as intended or that results in increased maintenance or decreased operational life or safety

Miscellaneous Elements: Do not cut and patch miscellaneous elements or related components in a manner that could change their load-carrying capacity, that results in reducing their capacity to perform as intended, or that results in increased maintenance or

decreased operational life or safety. Visual Requirements: Do not cut and patch construction in a manner that results in visual evidence of cutting and patching. Do not cut and patch construction exposed on the exterior or in occupied spaces in a manner that would, in Architect's opinion, reduce the building's aesthetic qualities. Remove and replace construction that has been cut and patched in a visually unsatisfactory manner.

WARRANTY Existing Warranties: Remove, replace, patch, and repair materials and surfaces cut or damaged during cutting and patching operations, by methods and with materials so as not

to void existing warranties MATERIALS General: Comply with requirements specified in other Sections and Contract Documents.

Perform all cutting and patching required to complete the Work. In-Place Materials: Use materials identical to in-place materials. For exposed surfaces, use materials that visually match in-place adjacent surfaces to the fullest extent possible. If identical materials are unavailable or cannot be used, use materials that, when installed,

will match the visual and functional performance of in-place materials. **EXAMINATION** Examine surfaces to be cut and patched and conditions under which cutting and patching

Compatibility: Before patching, verify compatibility with and suitability of substrates,

including compatibility with in-place finishes or primers. PREPARATION

Temporary Support: Provide temporary support of Work to be cut.

Protection: Protect in-place construction during cutting and patching to prevent damage. Provide protection from adverse weather conditions for portions of Project that might be exposed during cutting and patching operations.

C. Adjoining Areas: Avoid interference with use of adjoining areas or interruption of free passage to adjoining areas. PERFORMANCE

General: Employ skilled workers to perform cutting and patching. Proceed with cutting and patching at the earliest feasible time, and complete without delay. Cut in-place construction to provide for installation of other components or performance of other construction, and subsequently patch as required to restore surfaces to their original condition.

B. Cutting: Cut in-place construction by sawing, drilling, breaking, chipping, grinding, and similar operations, including excavation, using methods least likely to damage elements retained or adjoining construction. If possible, review proposed procedures with original Installer; comply with original Installer's written recommendations.

Patching: Patch construction by filling, repairing, refinishing, closing up, and similar operations following performance of other Work. Patch with durable seams that are as invisible as possible. Provide materials and comply with installation requirements specified in other Sections.

Cleaning: Clean areas and spaces where cutting and patching are performed. Completely remove paint, mortar, oils, putty, and similar materials.

# **SECTION 01770 - CLOSE OUT PROCEDURES**

SUBSTANTIAL COMPLETION A. Preliminary Procedures: Before requesting inspection for determining date of Substantial Completion, complete the following. List items below that are incomplete in request.

on the list, and reasons why the Work is not complete.

 Advise Owner of pending insurance changeover requirements. 3. Submit specific warranties, workmanship bonds, maintenance service agreements,

access to services and utilities. Include occupancy permits, operating certificates, and 5. Prepare and submit Project Record Documents, operation and maintenance

surveys, property surveys, and similar final record information. 6. Deliver tools, spare parts, extra materials, and similar items to location designated by

Owner. Label with manufacturer's name and model number where applicable.

8. Complete startup testing of systems.

10. Terminate and remove temporary facilities from Project site, construction tools, and similar elements

11. Advise Owner of changeover in heat and other utilities.

13. Complete final cleaning requirements, including touchup painting. 14. Touch up and otherwise repair and restore marred exposed finishes to eliminate

of request, Architect will either proceed with inspection or notify Contractor of unfulfilled requirements. Architect will prepare the Certificate of Substantial Completion after inspection or will notify Contractor of items, either on Contractor's list or additional items

identified by Architect that must be completed or corrected before certificate will be issued. FINAL COMPLETION

1. Submit a final Application for Payment according to Division 1 Section "Payment Procedures.

2. Submit certified copy of Architect's Substantial Completion inspection list of items to copy of the list shall state that each item has been completed or otherwise resolved for acceptance.

3. Submit evidence of final, continuing insurance coverage complying with insurance

equipment, and systems. Inspection: Submit a written request for final inspection for acceptance. On receipt of request, Architect will either proceed with inspection or notify Contractor of unfulfilled requirements. Architect will prepare a final Certificate for Payment after inspection or will

Reinspection: Request reinspection when the Work identified in previous inspections as incomplete is completed or corrected.

1.3 WARRANTIES Submittal Time: Submit written warranties on request of Architect for designated portions of the Work where commencement of warranties other than date of Substantial

Organize warranty documents into an orderly sequence based on the table of contents of the Project Manual.

Provide additional copies of each warranty to include in O & M manuals. 1.4

Cleaning: Employ experienced workers or professional cleaners for final cleaning. Clean each surface or unit to condition expected in an average commercial building cleaning and maintenance program. Comply with manufacturer's written instructions regarding cleaning agents and procedures.

Clean Project site, yard, and grounds, in areas disturbed by construction activities, including landscape development areas, of rubbish, waste material, litter, and other foreign substances. Leave Project clean and ready for occupancy. Remove waste materials from Project site and dispose of lawfully.

A. Record Drawings: Submit 2 set(s) of marked-up Record Prints.

and Shop Drawings. 2. Preparation: Mark Record Prints, Contract Drawings or Shop Drawings, to show the actual installation where installation varies from that shown originally. Require individual or entity who obtained record data, whether individual or entity is Installer, subcontractor, or similar entity, to prepare the marked-up Record Prints. Record data as soon as possible after obtaining it. Record and check the markup before enclosing

Record Specifications: Submit 2 copies of Project's Specifications, including addenda and contract modifications. 1. Preparation: Mark Specifications to indicate the actual product installation where

modifications.

2. Operation and Maintenance Manuals: Assemble a complete set of operation and maintenance data indicating operation and maintenance of each system, subsystem, and piece of equipment not part of a system. <u>Include copies of warranties and bonds</u>

3. Manufacturers' Data: Where manuals contain manufacturers' standard printed data, include only sheets pertinent to product or component installed. Mark each sheet to identify each product or component incorporated into the Work. Identify data

4. Drawings: Where required to provide complete description, prepare drawings parts of equipment and systems and to illustrate control sequence and flow diagrams. Coordinate these drawings with information contained in Record Drawings to ensure correct illustration of completed installation

Training - Engage qualified instructors to instruct Owner's personnel to adjust, operate,

and maintain systems, subsystems, and equipment not part of a system.

supplementing manufacturers' printed data to illustrate the relationship of component

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FROM JOHN MARINELLI, THE CONTRACTOR

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OWNER OR THE BUILDING DEPARTMENT.

**Key Plan** 

**Issues / Revisions** 

NO. DATE ISSUE FOR PERMIT/REVISION

06.14.22 ISSUE FOR PERMIT/BIDS

Project

Stamford Pediatric Care

60 Strawberry Hill Ave

Stamford, Connecticut

Drawing

General Conditions

Client

60 Strawberry Hill Ave

Stamford, Connecticut

**Professional Seal** 

CONNECT

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Consultant

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USED FOR ANY OTHER PURPOSE, LOCATION

IF CHANGES ARE MADE TO THE DESIGN OR

FROM MARINELLI ARCHITECTS + PLANNERS, LLC.

SCOPE OF WORK INCLUDES ALL WORK INDICATED OR OTHERWISE DESCRIBED ON ALL CONTRACT DOCUMENTS INCLUDING ALL APPLICABLE GENERAL CONDITIONS LISTED ON THIS A-OO SHEET, DRAWINGS AND SPECIFICATIONS.

ANY CONTEMPLATED EXCLUSIONS OR MODIFICATIONS TO THE GENERAL

CONDITIONS OR SCOPE INDICATED MUST BE CLEARLY OUTLINED AND

PRESENTED TO THE ARCHITECT PRIOR TO THE SUBMISSION OF ANY BID TO PERFORM THE WORK.

1. The term General Contractor, G.C., shall be synonymous with, and mean Construction Manager in those projects headed by a Construction Manager. the following specifications. General Contractor is responsible for all work

required to provide complete installation. All work shall be performed in conformance with any or all code or regulations of Federal, State, County or Municipal agencies having jurisdiction over such work in effect during the construciotn period. All applicable

specifications shall be submitted to the Architect for resolution prior to 4. Proceedinghwithothesporksible for obtaining all permits required by Federal,

be binding as if called for by all. Refer to Note #16 for further information regarding discrepancies.

use of building elevator. 7. All arrangements for construction personnel entering the building during

worker access shall be limited to active construction modules. opening clearance for delivery of equipment and/or materials (sizes of elevators, doors, corridors, etc.) and shall notify architect immediately as to

10. Removed existing items (i.e., light fixtures, doors, etc.) not being reused shall be turned over to the Owner or otherwise recycled or disposed of

11. The G.C. shall erect all necessary temporary solid and/or plastic drop cloth partitions to protect finished areas while demolition and construction are in progress. All associated costs to be included in contractor's general

of existing installation not being removed, or existing equipment in place.

14. No work involving extra cost beyond contract sum agreed to, shall be commenced until all additional costs have been approved in writing by the

Architect for all costs of construction before any work is started. Such notification must indicate date, price and scope of work. No work is to commence without approval from Architect and tenant.

find any discrepancy, omissions, ambiguities or conflict in any of the construction drawings, or be in doubt as to their meaning, the Contractor must bring the guestion to the attention of Architect before start of is not clearly indicated or specified, will issue a clarifying addendum. Neither the Tenant nor Architect will be responsible for oral instruction. It shall be the responsibility of the G.C. and all subcontractors to

been made. Later claims for extra costs from labor, equipment or materials required or for difficulties encountered which could have been foreseen had such examination been made will not be recognized

Contractor hereunder, and will further indemnify and save harmless the Owner, its officers, agency and employees against and claims (including hereunder caused by the negligence of the Contractor or its agents,

20. The character and scope of work are illustrated by the project documents. Any additional drawings required or other information deemed necessary by Architect, shall be furnished to Contractor as required. This additional data will be considered as part of the project documents and will not imply any additional costs.

21. Shop Drawings shall show the design, dimension, connections and other details necessary to insure that the Shop Drawings accurately interpret the Contract Documents and shall also show adjoining work in such detail as required to provide proper connections with said adjoining work. Where adjoining work of more than one trade occurs, the Contractor shall be responsible for coordinating Shop Drawing submissions so that they are received simultaneously for review.

22. The Architect's review and approval of Shop Drawings, Product Data, Samples and Catalogue Cuts shall be given as assistance to the Contractor in interpreting the requirements of the Contract Documents, but in no way shall it relieve the Contractor of any responsibilities for any errors or omissions in the Shop Drawings, Product Data, Samples and Catalogue Cuts or for any deviation from the requirements or the Contract Documents (including, without limitation, the Contractor's responsibility for coordination). The Contractor shall be responsible for the accuracy of the Shop Drawings, Product Data, Samples and Catalogue Cuts and for the conformity of documents unless the Contractor has notified the Architect of any deviation in writing at the time of submission and has received from the Architect written acceptance by separate letter of the specified deviations. Any fabrication, erection setting, or other Work performed by the Contractor in advance of the receipt of Shop Drawings marked "Approved" by the Architect shall be done entirely at the Contractor's sole risk. See Section 01330

23. Consult individual drawings for additional information. Information on drawings shall supersede specifications on this sheet. Any conflicts shall be presented

to the Architect for resolution. 24. The G.C. shall submit fabrication shop drawings for all off—site fabricated items (one transparency) for review and approval by the architect and

including but not limited to electrical, HVAC, sprinkler, (light fixtures, hardware, etc.) prior to placing final order. See Section 01330 Project Submittals of Div 1 General Conditions for further information.

> DRAWN BY: JCM

DRAWING NUMBER

1. Prepare a list of items to be completed and corrected (punch list), the value of items

final certifications, and similar documents. 4. Obtain and submit releases permitting Owner unrestricted use of the Work and

manuals, Final Completion construction digital photographs, damage or settlement

7. Make final changeover of permanent locks and deliver keys to Owner. Advise Owner's personnel of changeover in security provisions.

9. Submit test/adjust/balance records.

12. Submit changeover information related to Owner's occupancy, use, operation, and maintenance.

visual defects. Inspection: Submit a written request for inspection for Substantial Completion. On receipt

Preliminary Procedures: Before requesting final inspection for determining date of Final Completion, complete the following:

be completed or corrected (punch list), endorsed and dated by Architect. The certified

4. Instruct Owner's personnel in operation, adjustment, and maintenance of products,

notify Contractor of construction that must be completed or corrected before certificate will be issued.

FINAL CLEANING

SUBMITTALS

Record Prints: Maintain one set of blue- or black-line prints of the Contract Drawings

concealed installations.

installation varies from that indicated in Specifications, addenda, and contract

OPERATION AND MAINTENANCE DATA Manual: Submit 2 of each manual in final form at least 10 days before final inspection: 1. Product Maintenance Manual: Assemble a complete set of maintenance data indicating care and maintenance of each product, material, and finish incorporated into

and lists of circumstances and conditions that would affect validity of warranties or

applicable to the Work and delete references to information not applicable.

# GENERAL CONDITIONS - MISCELLANEOUS

2. All work on drawings shall be performed in conformance with requirements of

shown (unless noted otherwise) on drawings whether direct or inferred,

requirements in these regulations shall be followed the same as if noted on the drawings and building codes. Any discrepancies between codes and plan

State, County, or Municipal law and shall include in the contract all required 5. All drawings and notes are complementary and what is called for by any will

6. The G.C. shall arrange for loading dock, elevator or other hoisting facilities for materials. Arrangements shall be made through the building management. G.C. shall pay all costs for delivery and/or handling of materials, including

working hours, materials, delivery, debris removal, material returned to building, etc., shall be coordinated with Building Management. Construction 8. The G.C. and all appropriate vendors, prior to fabrication, shall check building

any potential conflicts. 9. The G.C. and all subcontractors shall check and verify all dimensions and conditions at job site as they relate to their work and notify the Architect of any discrepancies between drawings and field conditions prior to submission of bid and request clarification.

legally. See Waste Management requirements.

12. The G.C. shall be extremely careful to protect and not damage any portion 13. All existing areas to remain, damaged by demolition or new construction work, shall be patched as required to match adjacent area in material, finish and color, unless otherwise noted. See Section 01731 in Div 01 General

Architect and Tenant 15. Written notification must be submitted for any change by Contractor to

16. All work to be done by G.C. unless otherwise noted. Any substitute in specification must be submitted to Architect for approval. Should Contractor construction. Architect will review the question and where information sought

familiar with the following notes and conditions. All work performed shall be in accordance with these conditions; and with the latest building rules and regulations, and AIA contract for construction and general conditions of the contract for construction and instruction to bidders. 18. Submission of proposal will be judged evidence that examination of site has

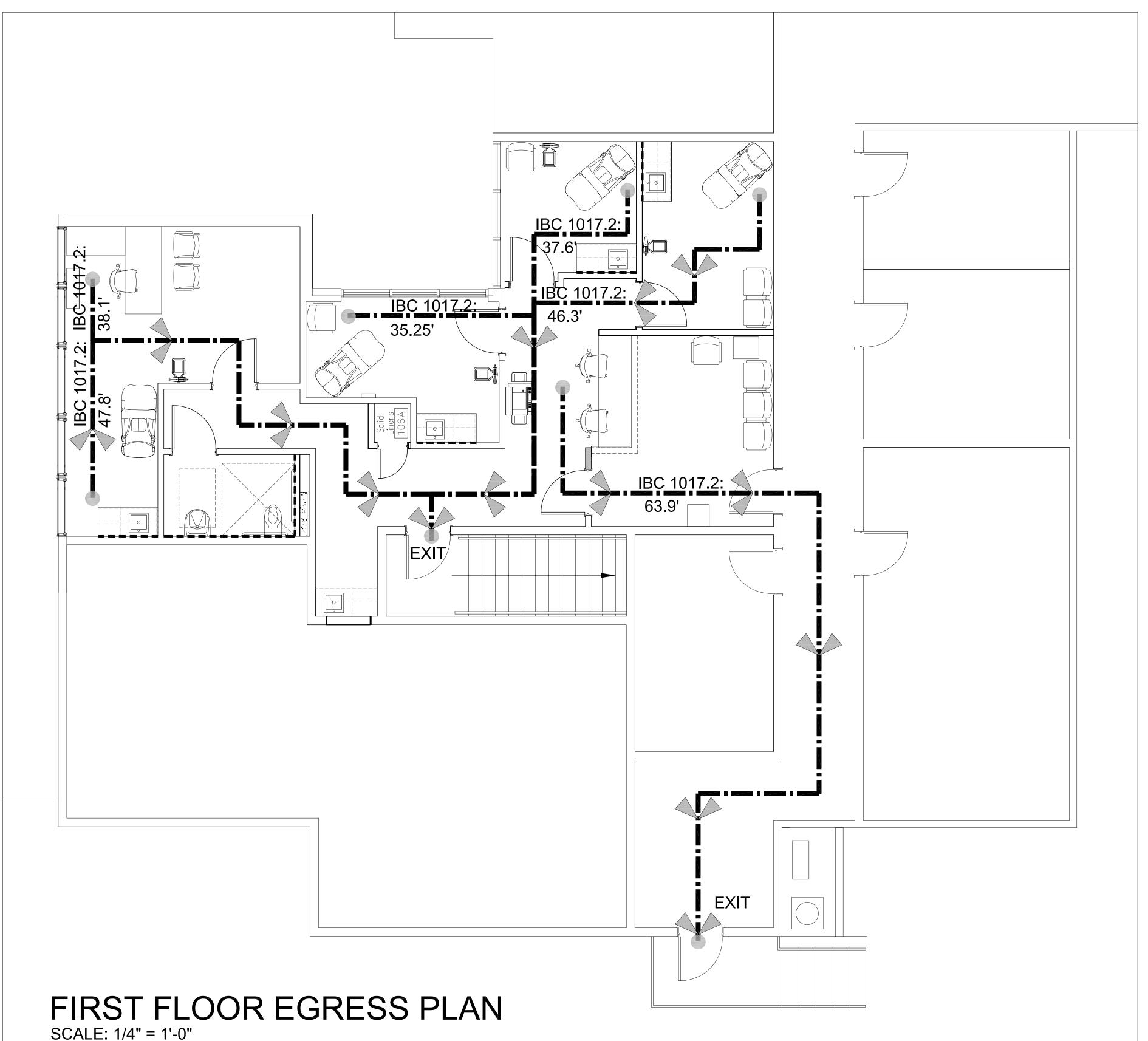
19. The Contractor agrees to indemnify and save harmless the Architects, the Owner, their officers, agents and employees against and from all claims by or on behalf of any person arising out of the conduct or operations of the counsel's fees and other costs and expenses of litigation) from any cause whatsoever resulting from , incidental to, or in connection with the work

servants, employees or licensees

Project Submittals under Div 1 General Condiditons for futher information.

appropriate consultants, prior to fabrication. Submission shall be within two weeks after award of contract. See Section 01330 Project Submittals of Div 1 General Conditions for further information. 25. The G.C. shall submit to Architect cuts in triplicate for all catalogue items

26. Upon completion of job, the G.C. shall submit certificates of inspection from the local Building and Fire Departments and Department of Water Supply, gas and electricity, and a certificate of occupancy and satisfactory completion to Landlord with copies to tenants and Architect.



# BUILDING DATA + CODES

NFPA 101 USE GROUP -

II CONSTRUCTION CLASSIFICATION: IA NON-COMBUSTIBLE

III SPRINKLERS:

A: 2015 INTERNATIONAL BUILDING CODE PORTION OF THE 2018 CONNECTICUT STATE BUILDING CODE

B: 2015 INTERNATIONAL PLUMBING CODE WITH 2018 CONNECTICUT STATE AMENDMENT

D: 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH 2018 CONNECTICUT STATE AMENDMENT

E: INTERNATIONAL FIRE CODE

IV INTERIOR FINISHES:

F: CONNECTICUT STATE FIRE PREVENTION CODE

I: 2009 INTERNATIONAL CODE COUNCIL ANSI A117.1 ACCESSIBLE AND USABLE BUILDING AND FAC8ILITES CODE WITH

K: 2014 U.L. VOLUME 1, 2A, 2B AND 3

N: 2012 NFPA 1- FIRE PROTECTION ASSOCIATION

U: 2015 NFPA 99- HEALTH CARE FACILITIES CODE

W: 2013 NFPA 241- STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS

1. THESE DOCUMENTS ARE THE SOLE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED FOR CONSTRUCTION ON

100 S.F. PER PERSON GROSS OCCUPANCY LOAD FOR EXITING per IBC Table 1004.1.2: 1,063 / 100= 11 OCCUPANTS

SERVED: per IBC 1005.3.1+1005.3.2 11 X 0.2 = 2.2" MIN. (2) EXITS PROVIDED

DOORWAYS FROM SPACES PER

PER IBC SECTION 1017.2:

20'-0" WITH DEAD END CORRIDORS PER NON-SPRINKLER

44" MINIMUM REQUIRED MINIMUM CORRIDOR WIDTH

OPEN AREA PER IBC TABLE 1020.2:

FIRE EXTINGUISHER LOCATIONS per NPFA 10 - 5.2.1

I USE GROUP: **BUSINESS** 

NON-SPRINKLED (EXISTING)

ALL FINISHES SHALL BE CLASS A AND CLASS I IN ACCORDANCE WITH TABLE A 10.2.2 OF NFPA 101, 2012 EDITION OF THE LIFE SAFETY CODE

C: 2015 INTERNATIONAL MECHANICAL CODE WITH 2018 CONNECTICUT STATE AMENDMENT

G: 2018 FGI GUIDELINES FOR DESIGN AND CONSTRUCTION OF OUTPATIENT FACULTIES

H: 2010 ADA (AMERICAN WITH DISABILITIES ACT)

2018 CONNECTICUT STATE AMENDMENT J: 2008 CONNECTICUT PUBLIC HEATH CODE

L: 2011 OSHA M: 2015 NATIONAL FIRE PROTECTION ASSOCIATION

O: 2013 NFPA 10- EDITION STANDARD FOR PORTABLE FIRE EXTINGUISHERS P: 2013 NFPA 13- INSTALLATION OF SPRINKLER SYSTEMS

Q: 2017 NFPA 70- NATIONAL ELECTRICAL CODE WITH 2018 CONNECTICUT STATE AMENDMENT

R: NFPA 54- NATIONAL FUEL GAS CODE

S: 2017 NFPA 70- NATIONAL ELECTRICAL CODE WITH 2018 CONNECTICUT STATE AMENDMENT

T: 2013 NFPA 72- NATIONAL FIRE ALARM AND SIGNALING CODE

V: 2015 NFPA 101- LIFE SAFETY CODE

X: TOWN AND LOCAL ORDINANCES

ANY OTHER SITE WITHOUT WRITTEN PERMISSION OF THE ARCHITECT

2. SHOWN ABOVE ARE THE APPLICABLE CODES BUT NOT LIMITED TOO THOSE LISTED

AREA OF TENANT SPACE: 1,063 S.F.

**BUSINESS PROPOSE SPACE:** 

STAIRS = 0.3, OTHER = 0.2 EGRESS WIDTH PER OCCUPANT

EXITS OR EXIT ACCESS

IBC SECTION 1006:

EXIT ACCESS TRAVEL DISTANCE

200' NON-SPRINKLER SYSTEM

IBC SECTION 1020.4

75' MAX DISTANCE

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OWNER OR THE BUILDING DEPARTMENT.



**Key Plan** 

Issues / Devisions

NO.	DATE	ISSUE FOR PERMIT/REVISION					
	06.14.22	ISSUE FOR PERMIT/BIDS					

Project

Stamford Pediatric Care 60 Strawberry Hill Ave Stamford, Connecticut

Drawing

Fire Safety Egress

Client

**DERAS LLC** 60 Strawberry Hill Ave

Stamford, Connecticut

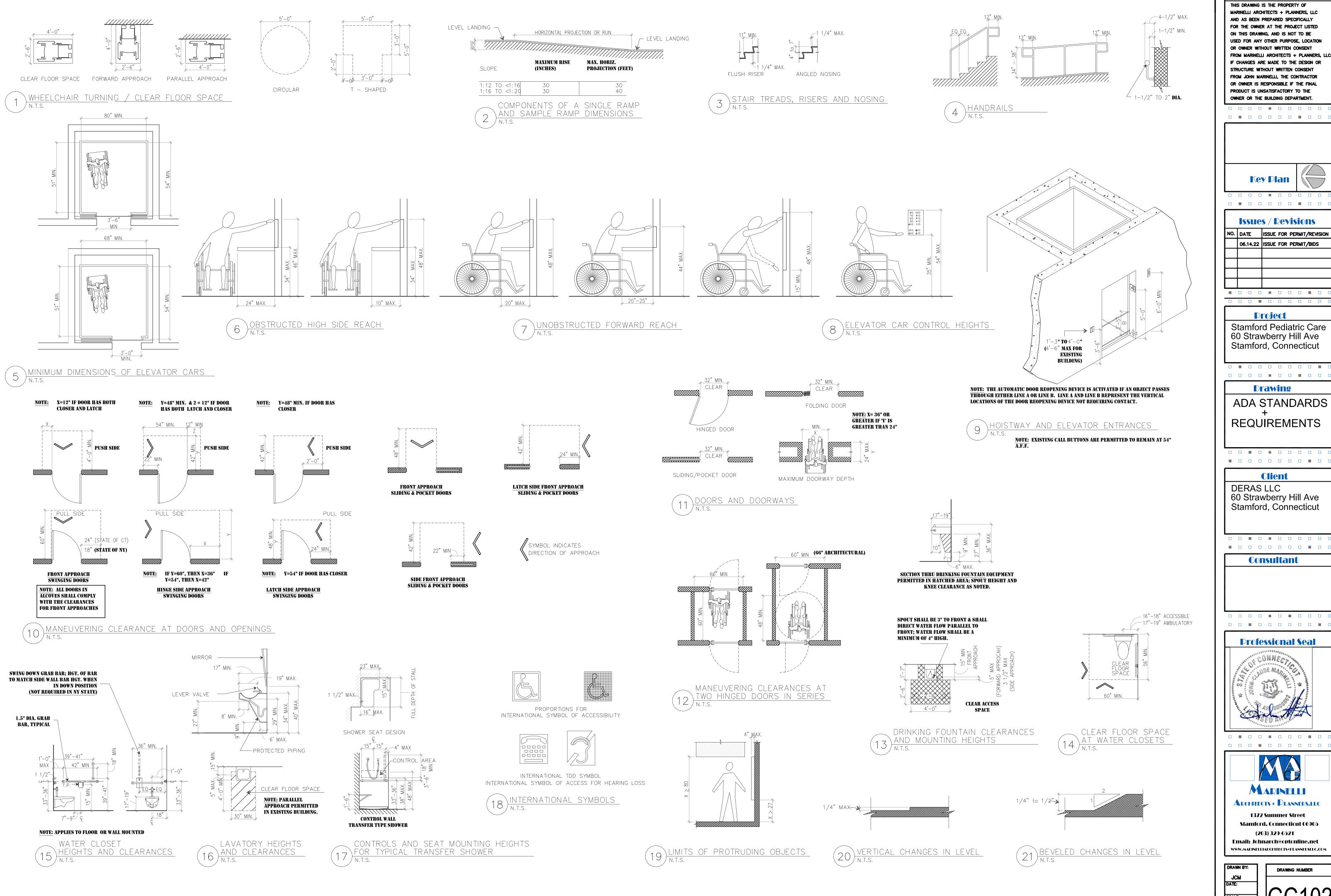
Consultant





f Architects + f Planners,llc Stamford, Connecticut 06905

(203) 329-0521 Email: Johnarch@optonline.net



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Issues / Revisions						
NO.	DATE	ISSUE FOR PERMIT/REVISION				
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Project

Stamford Pediatric Care 60 Strawberry Hill Ave Stamford, Connecticut

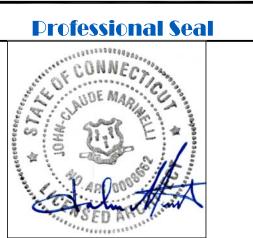
**Drawing** 

**ADA STANDARDS REQUIREMENTS** 

Client

DERAS LLC 60 Strawberry Hill Ave Stamford, Connecticut

Consultant

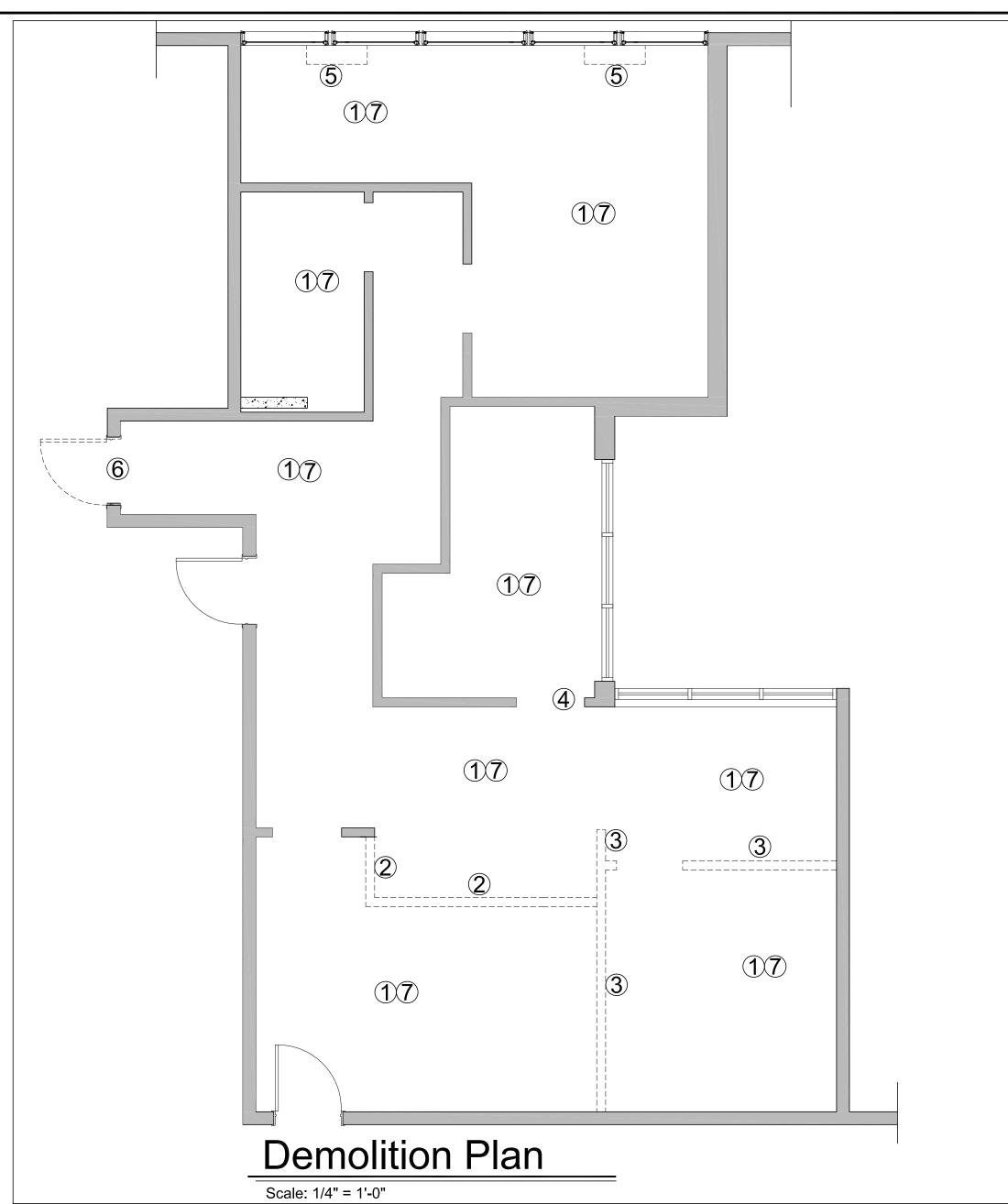




Architects + Planners, LLC

1372 Summer Street Stamford, Connecticut 06905 (203) 329-0521 Email: Johnarch@optonline.net

JCM



# DEMOLITION LEGEND

# EXISTING CONSTRUCTION TO REMAIN

DENOTES AREA NOT IN CONTRACT

EXISTING CONSTRUCTION TO BE REMOVED

# **KEY NOTES**

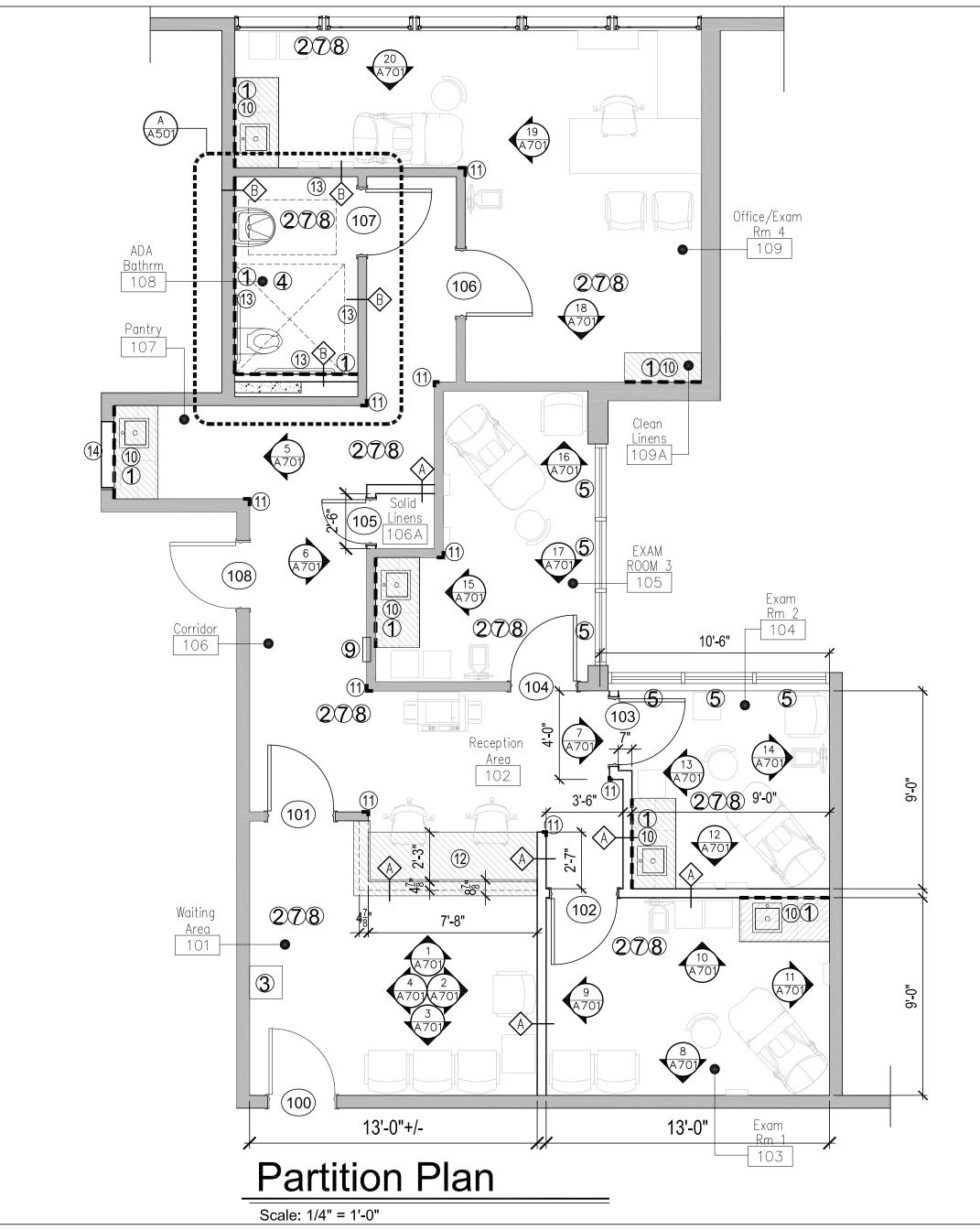
\_\_\_\_\_

- PATCH EXISTING CONCRETE SLAB FLOOR AS REQUIRED TO
- RECEIVE NEW FLOORING
- MODIFY EXISTING HALF WALL AS REQUIRED TO ALLOW FOR NEW 42" TOP OF COUNTER HEIGHT. SEE MILLWORK DRAWINGS
- DEMOLITION OF EXISTING GYPSUM BOARD AND STUD WALL
- MOVE EXISTING OPENING AS REQUIRED TO WORK WITH NEW LAYOUT, REFER TO PARTITION PLAN
- REMOVE EXISTING PTAC UNITS AND REPLACE WITH NEW UNITS, REFER TO MECH. DRAWINGS FOR SPECIFICATIONS
- DEMOLITION OF EXISTING DOOR AND FRAME, PATCH OPENING TO MATCH EXISTING CONDITIONS, REFER TO PARTITION PLAN FOR ADDITIONAL INFORMATION

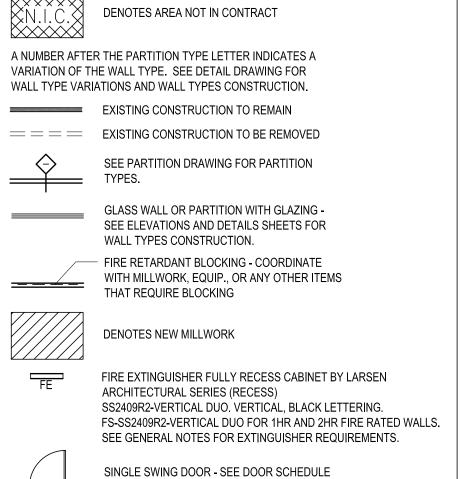
MECHANICAL AS REQUIRED TO WORK WITH NEW LAYOUT

REMOVE / RELOCATE EXISTING PLUMBING, ELECTRICAL AND

- SEE GENERAL NOTES AND CONDITIONS FOR FURTHER INFO AND
- THIS WORK INCLUDES ALL LABOR, MATERIAL, EQUIPMENT, STORAGE FACILITIES, SERVICES AND SUPERVISION NECESSARY FOR THE COMPLETE AND SATISFACTORY DEMOLITION WORK INDICATED ON THE DRAWINGS, SPECIFIED HEREIN AND/OR WHICH INTERFERES WITH NEW
- ALL WORK SHALL BE EXECUTED IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR PUBLIC SAFETY. WORK TO COMPLY WITH OSHA STANDARDS AND BUILDING MANAGEMENT
- RULES AND REGULATIONS... G.C. TO BECOME FAMILIAR WITH ENTIRE SCOPE OF PROJECT PRIOR
- TO COMMENCING WITH DEMOLITION WORK. G.C. SHALL ALSO COORD. WORK W/LANDLORD AND/OR TENANT PRIOR TO BEGINNING. DURING DEMOLITION OPERATIONS, PREVENT DUST, DIRT AND DEBRIS
- FROM RISING OR MIGRATING TO OTHER AREAS. IN ADDITION, G.C. TO PROTECT EXISTING HVAC UNITS FROM CONTAMINATION AND REPLACE FILTERS UPON COMPLETION OF DEMOLITION. REMOVE AS IT ACCUMULATES, ALL DEBRIS RESULTING FROM
- CONSTRUCTION AND DEMOLITION OPERATIONS. ALL PRODUCTS OF DEMOLITION & REMOVALS TO BE DISPOSED OF LEGALLY. DO NOT STORE OR PERMIT DEBRIS TO ACCUMULATE ON SITE. IF CONTRACTOR FAILS TO REMOVE EXCESS DEBRIS PROPERLY OR PROMPTLY, TENANT OR LANDLORD RESERVES RIGHT TO CAUSE SAME TO BE REMOVED AT CONTRACTOR'S EXPENSE.
- THE PROTECTION OF EXISTING WORK TO REMAIN SHALL INCLUDE ALL HE MATERIAL, EQUIPMENT AND WORK LIABLE TO BE DAMAGED THROUGH OPERATIONS UNDER THIS CONTRACT. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGES OCCURRING FROM THIS WORK. G.C. TO PATCH AND/OR REPAIR ANY DISTURBED ADJACENT CONSTRUCTION AS REQ'D THAT IS TO REMAIN.
- IT SHALL BE THE G.C.'S RESPONSIBILITY TO PROVIDE ADEQUATE MATERIAL PROTECTION AND MAINTAIN THE INTEGRITY AND CONDITION OF EXISTING FINISHES IN ALL BUILDING AREAS NOT SCHEDULED FOR DEMOLITION WORK.
- UNLESS NOTED OTHERWISE REMOVAL TO INCLUDE ITEMS SHOWN ON PLAN & ALL RELATIVE SUPPORTS, CONDUITS, FLASHING, ADHESIVES, CEILING, LIGHTING, BULKHEADS, FLOORING, MIRRORS, WALL FINISHES, DOORS, FRAMES, AND ASSOCIATED WORK. COORDINATE DEMO WITH WORK SHOWN ON OTHER PLANS & SPECS.
- EXISTING EQUIPMENT AND MATERIALS TO BE REUSED, DESCRIBED BY THE TERM "RESET" OR "RELOCATE" IN THE SPECIFICATIONS OR ON DRAWINGS, SHALL BE DISCONNECTED, REMOVED AND STORED FOR FUTURE USE.
- EQUIPMENT AND MATERIAL TO BE DISCONNECTED AND REMOVED AND NOT REQUIRED TO BE REUSED AS SPECIFIED, OR NOT SHOWN ON THE DRAWINGS TO BE RESET OR RETAINED BY TENANT, SHALL BECOME THE PROPERTY OF CONTRACTOR OR BUILDING OWNER AND SHALL BE REMOVED FROM PREMISES. THE DISPOSITION OF REMOVED SURPLUS SERVICEABLE MATERIALS TO BE DETERMINED BY THE
- IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS OR VOIDS IN FLOOR, THE G.C. SHALL PATCH TO LEVEL FLOOR WITH EXISTING SLAB AND/OR REQUIRED SURFACE TO RECEIVE NEW FINISHED FLOOR.



# PARTITION LEGEND



DOUBLE SWING DOOR - SEE DOOR SCHEDULE

REDER TO DRAWING A101 FOR DOOR NUMBERS

OFFICE —— ROOM NAME

101 ROOM NUMBER

D Tetail Number

A7.0 → DRAWING NUMBER

600 ELEVATION NUMBER DRAWING NUMBER

# **KEY NOTES**

- 1 PROVIDE FIRE RATED WALL BLOCKING AT ALL WALLS TO RECEIVE MILLWORK, FURNITURE SYSTEMS AND WALL MOUNTED BATHROOM SINKS AND WALL MOUNTED ACCESSORIES
- REFER TO FINISHES PLAN AND ELEVATIONS FOR ADDITIONAL INFORMATION
- (3) WATER FILTRATION COOLER PURE AND NATURAL PWC-1500F
- REFER TO DETAIL BATHROOM PLAN AND EQUIPMENT/MILLWORK PLAN FOR EQUIPMENT LOCATIONS DRAWING A/A
- PROVIDE NEW 3M FILM OVER EXISTING EXTERIOR WINDOWS CONTRACTOR TO SUBMITTAL SAMPLES FOR CLIENTS APPROVAL
- 6 RESERVED
- CLEAN AND PREP EXISTING FLOOR AS REQIURED THROUGH-OUT TO RECIEVE NEW FLOORING MATERIAL REFER TO FINISHES PLAN FOR ADDITIONAL INFORMATION
- (8) PATCH AND REPAIR EXISTING GYPSUM WALLS TO REMAIN TYP. THRUOUT (1) COAT PRIMER, (2) COATS FINISH PAINT, SEE FINISHES PLAN.
- FIRE EXTINGUISHER FULLY RECESS CABINET BY LARSEN ARCHITECTURAL SERIES (RECESS) FS2409R2-VERTICAL DUO. VERTICAL, BLACK LETTERING. FS-SS2409R2-VERTICAL DUO FOR 1HR AND 2HR FIRE RATED WALLS. SEE GENERAL NOTES FOR EXTINGUISHER REQUIREMENTS.
- MILLWORK, REFER TO (A700 SERIES DRAWING) ELEVATIONS AND (A800 DRAWINGS) MILLWORK FOR ADDITIONAL INFORMATION
- CORNER GUARDS, C/S ACROVYN SURFACE MOUNTED CORNER GUARD 2" SSM-20N AT ALL CORRIDORS. REFER TO ELEVATIONS
- SOLID SURFACE COUNTERTOP WITH HALELE HEAVY DUTY COUNTERTOP BRACKETS
- REMOVE EXISTING LAYER OF GYPSUM BOARD AT BATHROOM WALLS AND REPLACE WITH 🖫 W.R. GYPSUM BOARD AND SOUND ATTENUATION, REFER TO WALL TYPE B ON
- fill in existing opening with  $\frac{5}{8}$ " f.r. Gypsum board at each side to match existing conditions

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Issues / Devisions

	133UES / REVISIONS						
NO.	DATE	ISSUE FOR PERMIT/REVISION					
	06.14.22	ISSUE FOR PERMIT/BIDS					

# Project

Stamford Pediatric Care 60 Strawberry Hill Ave Stamford, Connecticut

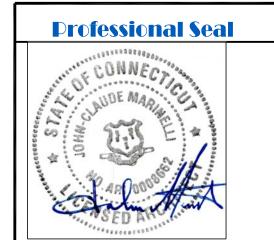
Drawing Demolition + Partition Plan

+ Notes

# Client

DERAS LLC 60 Strawberry Hill Ave Stamford, Connecticut

Consultant



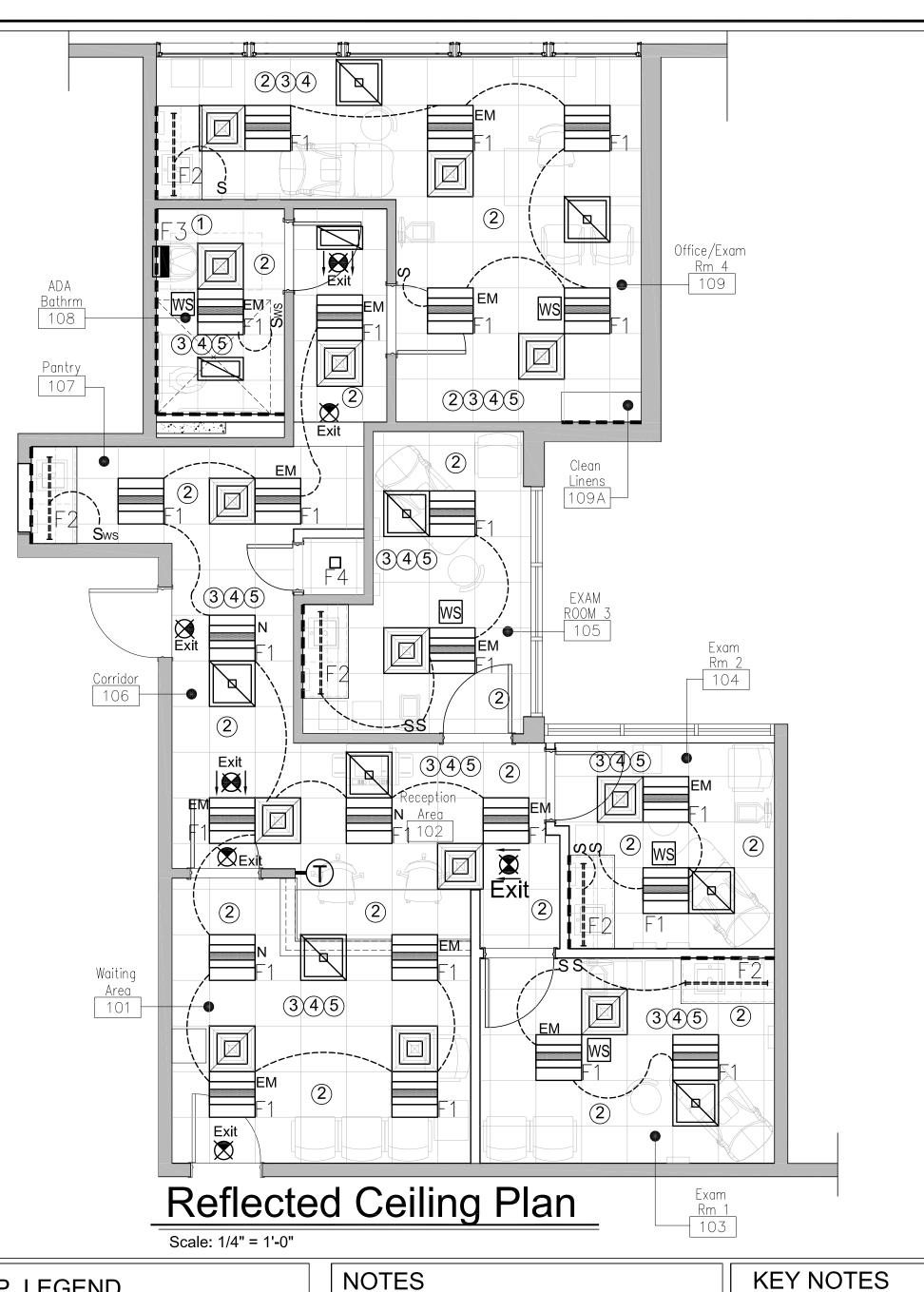


Architects + Planners, LLC

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WWW.MARINELLIARCHITECTS+PLANNERSLLC.COM

DRAWN BY:



# R.C.P. LEGEND

DENOTES AREA NOT IN CONTRACT

2'x2' LED RECESSED FLUOR.

UNDERCOUNTER LIGHTING

WALL SCRONE, TO BE SELECTED BY THE CLIENT NEW RETURN TO EXISTING BUILDING SYSTEM

ALL RATED WALLS NEW RETURN TO EXISTING BUILDING SYSTEM PROVIDE FIRE DAMPERS AS REQUIRED AT

PROVIDE FIRE DAMPERS AS REQUIRED AT

ALL RATED WALLS CLG-1- CLG-TYPE

+ 8'-0" - CEILING HEIGHT

ARMSTRONG 2'X2' ACOUSTICAL CEILING TILE, | | CLG | -1 | | ULTIMATE HEALTH ZONE WITH 15" SQUARE LAY-IN / COLOR: WHITE

EM EMERGENCY LIGHT BALLASTS

N NIGHT LIGHT, WIRED 24/7

DIRRECTIONAL EXIT SIGNAGE

WIRELESS OCCUPANY SENSOR, CEILING MOUNTED LUTRON

SWS WIRELESS OCCUPANY SENSOR WALL SWITCH

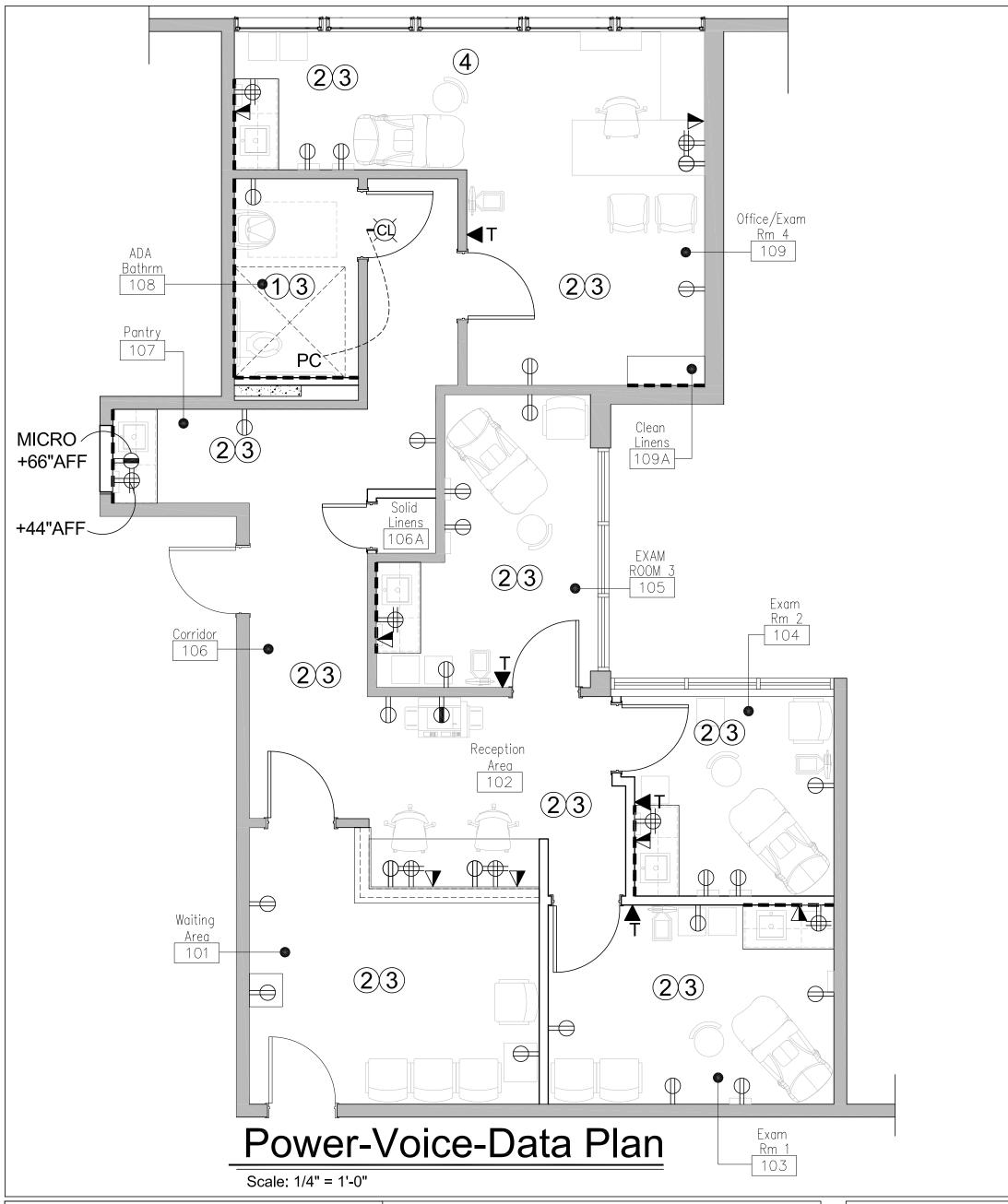
FIELD VERIFY WITH CLIENT THERMOSTAT

- SEE GENERAL NOTES AND CONDITIONS FOR FURTHER INFO AND SPECIFICATIONS.
- ALL NEW SWITCHES TO BE GANGED WHENEVER MORE THAN ONE SWITCH IS TO BE INSTALLED.
- . ALL LIGHT SWITCHES/DIMMERS TO BE MOUNTED AT 48" A.F.F. (UNLESS OTHERWISE NOTED ON PLAN)
- 4. ALL LIGHT SWITCHES/DIMMERS AND COVERPLATES TO MATCH ADJACENT WALL FINISH-G.C. TO APPROVE COLOR W/ ARCH. PRIOR TO INSTALLATION.
- 5. ALL WALL SCONCES MORE THAN 4" DEEP ARE TO BE MOUNTED 80"A.F.F. TO BOTTOM OF FIXTURE (MIN.)
- 3. ALL ABOVE CLG. CABLING, CLG. GRID, LIGHT FIXTURES, & OTHER CLG. MOUNTED DEVICES ARE TO BE TIED TO AND SECURED FROM STRUCTURE ABOVE AS REQ'D BY LOCAL
- 7. ALL CUT EDGES OF TEG. CLG. TILE TO BE PAINTED IN FIELD TO MATCH PRIOR TO FINAL INSTALLATION.
- 8 PROVIDE LIGHT SENSORS THROUGH-OUT SHALL MEET THE LATEST ENERGY CODE REQUIREMENTS
- 9. ALL WIRING TO BE HOSPITAL GRADE, REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION 10. CENTER LIGHT FIXTURES AND OTHER DEVICES IN
- ACOUSTICAL PANEL "PATTERN" UNLESS OTHERWISE INDICATED ON PLAN. 11. CENTER ACOUSTICAL PANELS - GRID IN SPACE
- 12. ALL CEILING HEIGHT SHALL BE 8'-0" AFF UNLESS

# UNLESS OTHERWISE NOTED.

- REFER TO INTERIOR BATHROOM ELEVATIONS FOR BATHROOM WALL SCONCE LOCATIONS AND HEIGHTS
- ARMSTRONG 2X2 CEILING TILE AND GRID, REFER TO
  - LEGEND ABOVE FOR SPECIFICATIONS
  - 3) REFER TO LIGHTING SCHEDULE FOR SPECIFICATIONS
- 4) VERIFY ALL LIGHT SWITCH LOCATIONS WITH CLIENT. REFER TO DRAWING STANDARD HEIGHT FOR HEIGHT REQUIREMENTS
- 5) CONTRACTOR'S SUB TO PROVIDE NEW HEATING AND COOLING TO THE INTERIOR CORE (101,102,103,104,105,106,107 AND 108. ROOM 109 TO RECEIVE NEW PTAC UNIT. CONTRACTOR IS RESPONSIBLE TO BALANCE HVAC SYSTEM ONCE PROJECT IS COMPLETED

0	THERWISE NOTED ON PLAN.			
	LIGHTING SCHEDULE:			
TYPE	DESCRIPTION	MANUFACTURER	LAMP	REMARKS
F1	2'X2' LED LIGHT FIXTURE	CREE: 2'X2' TROFFER LED MODULE ZR22C-XXL-35K-10V-FD	3500 K	WHITE TILE "G" GRID/LAY-IN STANDARD SUPPLIED AND INSTALLED BY THE GC
F2	UNDER-COUNTER LED LIGHTING	WAC LIGHTING BA-ACLED-42-27/30-WT, BA-I-WT BA-PC6-WT	3500K	SUPPLIED AND INSTALLED BY THE GC
F3	BATHROOM SINK WALL SCONCE	LED FIXTURE TO BE SELECTED BY THE CLIENT	3500 K	SUPPLIED AND INSTALLED BY THE GC
F4	4" SQUARE LED RECESS LIGHT FIXTURE	LITHONIA LIGHTING LDN4SQ 35/20 LS4AR LLS MVOLT EZ10 FIXTURE	3500 K	SQUARE REFECTOR, SPECULAR CLEAR DIMERABLE



# P.V.D. LEGEND



DENOTES AREA NOT IN CONTRACT

ALL OUTLETS TO BE MOUNTED AT 18" A.F.F. UNLESS INDICATED ON PLAN BY NUMBER ADJACENT TO OUTLET

ALL OUTLETS SHOWN ARE NEW UNLESS LABELED WITH 'E' FOR EXISTING OR 'R' FOR RELOCATED.

- GROUND FAULT INTERRUPT
- DESIGNATED OUTLET ON SEPARATE CIRCUIT NUMBER INDICATES AMPERAGE INDICATES HEIGHT A.F.F. IN INCHES
- EXISTING POWER/DATA TO BE RELOCATED

# WALL MOUNTED

- DUPLEX WALL MOUNTED POWER RECEPTACLE, 110 V. (U.O.N.)
- **DUPLEX DEDICATED CIRCUIT WALL**
- MOUNTED POWER RECEPT.
- DOUBLE DUPLEX WALL MTD. POWER RECEPTACLE, 110 V. (U.O.N.)

WALL MTD. TELE. OUTLET PROVIDE PULL

TELE. OUTLET PROVIDE PULL. PROVIDE

- BOX AND DRAG LINE IN WALLS WITH OUT INSULATION. SEE NOTES BELOW.
- BOX AND DRAG LINE IN WALLS WITH OUT INSULATION. SEE NOTES BELOW. WALL MTD. TRIPLE DATA OUTLET PROVIDE PULL BOX AND DRAG LINE IN WALLS WITH OUT
- INSULATION. SEE NOTES BELOW. WALL MTD. POWER JUNCTION BOX TO BE HARD WIRED TO EQUIP. OR APPLIANCE. PROVIDE PULL BOX AND DRAG LINE IN
- WALLS W/OUT INSULATION. SEE NOTES. TELE DATA FLOOR BOX
- DUPLEX FLOOR POWER RECEPTACLE, 110 V. (U.O.N.)
- WALL MOUNTED CABLE JACK VERIFY HEIGHT IN FIELD

# WALL MOUNTED

DEACTIVATION SWITCH FOR DOOR OPENER

BASE DATA / TELE - IN FOR FURNITURE SYSTEM/MILLWORK. WALL MOUNT DIRECTLY A.F.F.

— TOTAL DATA OUTLETS REQ'D TOTAL DATA OUTLETS REQ'D

BASE POWER - IN FOR FURNITURE SYSTEM/MILLWORK. TOTAL # REGULAR QUAD OUTLET. — WALL MOUNT DIRECTLY A.F.F.

- TOTAL # DEDICATED QUAD OUTLET.
- PP PUSH TO OPEN PADDLE
- ES ELECT. STRIKE ADA BATHROOM CALL LIGHT
- PULL CORD FOR CALL LIGHT
- FIRE ALARM STROBE LIGHT UNIT, FLUSH WALL MOUNTED WITH ADJUSTABLE CANDELA RATING
- COMBINATION FIRE ALARM SPEAKER/STROBE LIGHT UNIT WALL MOUNTED WITH ADJUSTABLE CANDELA RATING

# FLOOR MOUNTED

- TOTAL DATA OUTLETS REQ'D TOTAL DATA OUTLETS REQ'D
TOTAL TELE. OUTLETS REQ'D

BASE POWER - IN FOR FURN. SYSTEM. FLUSH FLOOR MOUNTED.

- TOTAL # DEDICATED DUPLEX OUTLET. — TOTAL # REGULAR DUPLEX OUTLET. CLOCK STYLE OUTLET MOUNTING HEIGHT TBD BY AV VENDOR

# **CEILING MOUNTED**

- DUPLEX CEILING MOUNTED POWER RECEPTACLE, 110 V. (U.O.N.)
- CLG. MOUNTED COMBO. TELE/DATA OUTLET
- PROVIDE PULL BOX AND DRAG LINE. CLG. MTD. POWER JUNCTION BOX TO BE
- HARD WIRED TO EQUIP. OR APPLIANCE.
- CLG. MTD. SECURITY CAMERA

# KEY NOTES

- (1) ALL TOILET SENSORS ON DC POWER
- FINAL POWER + VOICE + DATA LAYOUTS TO BE FIELD VERIFIED WHEN EXISTING FURNITURE IS LAID OUT BY CLIENT
- ALL NEW CIRCUITS TO RUN BACK TO EXISTING PANEL CONTRACTOR SHALL FIELD VERFIY LOCATION AND CONFIRM PANEL IS ADAQUTE FOR NEW LOAD, IF NOT CONTRACTOR SHALL PROVIDE NEW PANEL
- NEW PTAC 277V UNIT, CIRCUIT TO RUN BACK TO EXISTING PANEL IN COMMON ELECTRICAL CLOSET

- SEE GENERAL NOTES AND CONDITIONS FOR FURTHER
- INFO AND SPECIFICATIONS. 2. IN ALL CASES, USE ARCH. DWGS. FOR QUANTITIES &
- LOCATIONS, & ENG'S DWGS. FOR CIRCUITING. 3. GANG OUTLETS AND SWITCHES WHEREVER MORE THAN
- ONE APPEAR.
- 4. CONSULT TENANT OR TENANT'S SECURITY VENDOR REGARDING SECURITY SPECS/ REQUIREMENTS.
- LOCATION OF ALL FLOOR MOUNTED OUTLETS TO BE CONFIRMED W/ARCHITECT PRIOR TO CORE DRILL.
- . COORDINATE LOCATION OF ALL FURN. SYSTEM IN-FEEDS W/FURN. INSTALLER PRIOR TO PULLING CABLE.
- CONSULT TENANT OR TENANT'S COMMUNICATIONS VENDOR REGARDING TELE/DATA CABLE REQUIREMENTS.

3. ALL LOW VOLTAGE CABLING OR WIRING TO BE TEFLON

COATED FOR USE IN PLENUM CEILINGS. ALL ABOVE CLG.

CABLING TO BE TIED & SECURED TO STRUCTURE ABOVE AS PER LOCAL SEISMIC CODES.

9. ALL POWER/DATA/TELE RECEPT. ARE TO BE DECORA

- STYLE BY LEVITON MOUNTED AT 18" A.F.F. (U.O.N.) 10. COLOR OF ALL POWER/DATA/TELE RECEPTACLES /DEVICES AND COVERPLATES TO MATCH ADJACENT WALL
- FINISH- G.C. TO APPROVE COLOR W/ARCH. PRIOR TO INSTALLATION. 11. ALL WALL MTD. SIGNAL PULL BOXES IN INSULATED PARTITIONS TO BE PROVIDED W/ 1-1/2" EMT RACEWAY
- STUBBED UP THRU PARTITION @ 6" ABOVE FINISHED CLG. W/ 2 DRAG LINES TYPICAL. (U.0.N.) SEE PARTITION PLAN FOR PARTITION TYPES.
- 12. CALL LIGHT, SEE SPECIFICATIONS FOR POWER REQUIREMENTS.

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**Issues / Revisions** NO. DATE ISSUE FOR PERMIT/REVISION 06.14.22 ISSUE FOR PERMIT/BIDS

# Project

Stamford Pediatric Care 60 Strawberry Hill Ave Stamford, Connecticut

# Drawing

Reflected Ceiling Plan + Power-Voice-Data Plan

# 

Stamford, Connecticut

Client DERAS LLC 60 Strawberry Hill Ave

Consultant

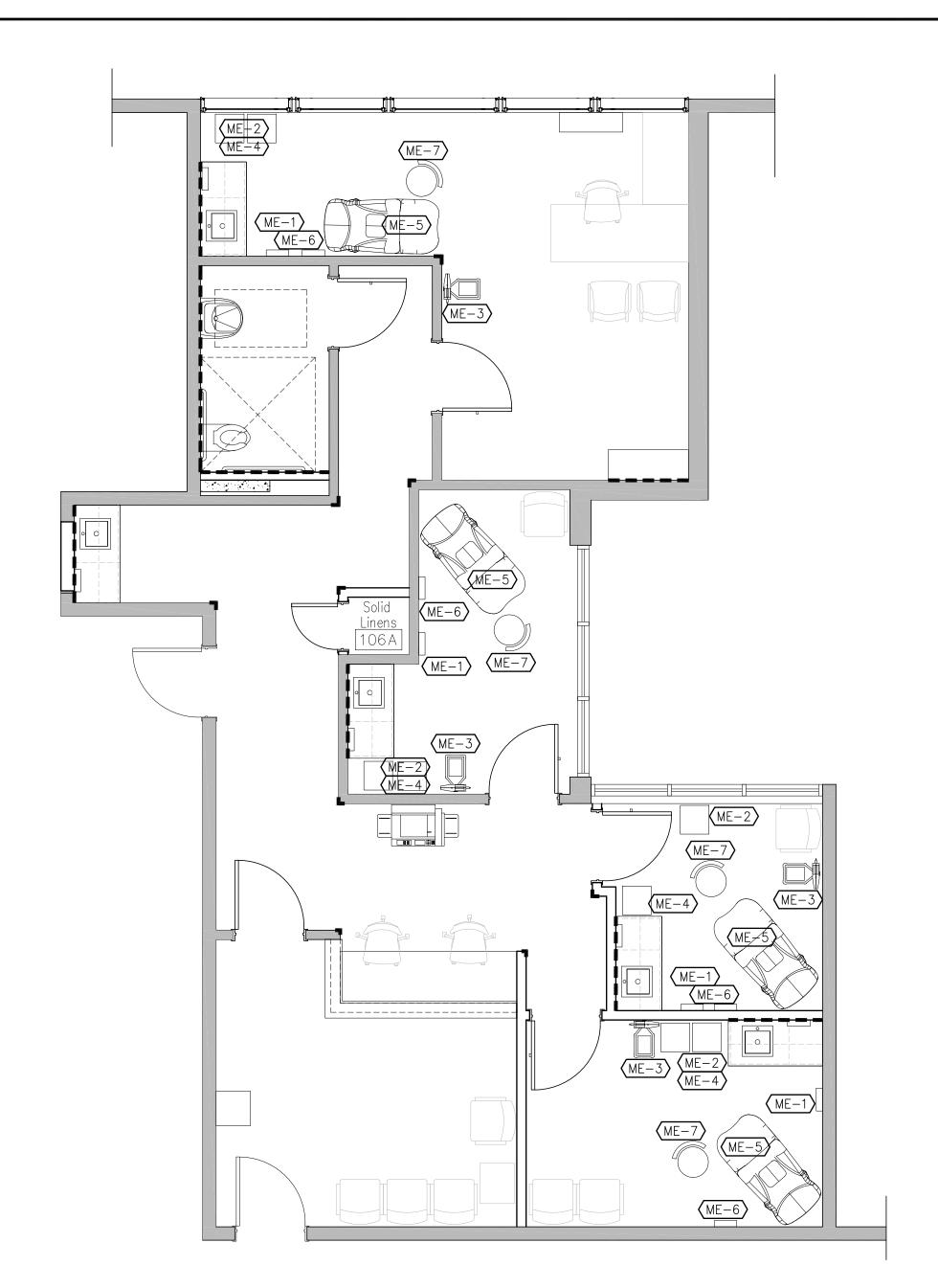




f Architects + f Planners,llc 1372 Summer Street

**Stamford, Connecticut 06905** (203) 329-0521 Email: Johnarch@optonline.net WWW.MARINELLIARCHITECTS\*PLANNERSLLC.COM

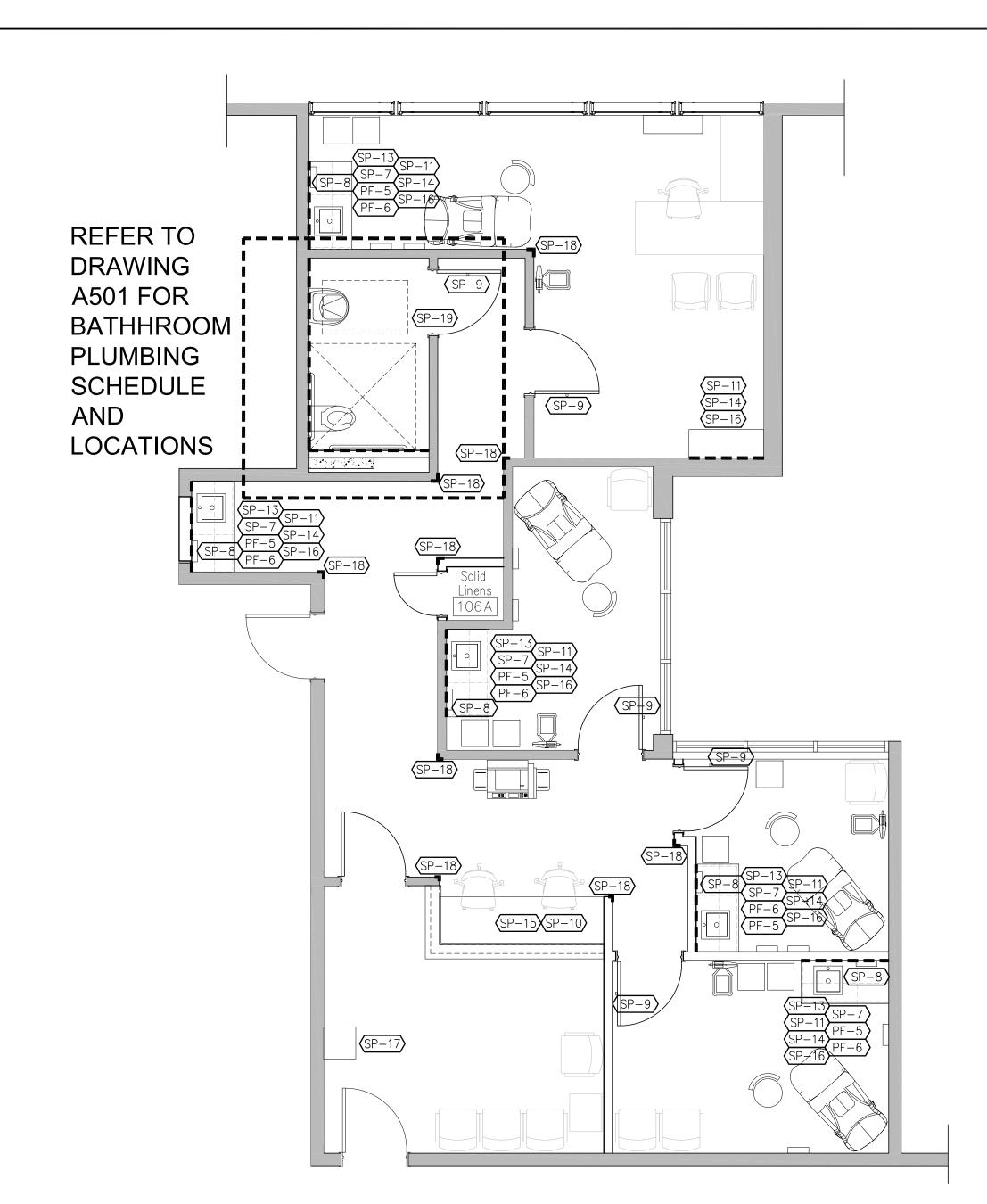
DRAWING NUMBER



Medical Equipment Location Plan

Scale: 1/4" = 1'-0"

ME	MEDICAL EQUIPMENT SCHEDULE					
No.	Description	Manufacturer	Model	Supplied By	Installed By	Remarks
ME-1	SHARPS/GLOVES RECEPTACLE	KENDALL	T.B.D.	CLIENT	G.C.	
$\langle ME-2 \rangle$	WASTE RECEPTACLE	RUBBERMAID	SLIMJ UNI1883459			
ME-3	SCALE	HEALTH O METER	PEL500KL			EYE LEVEL DIGITAL SCALE
$\overline{\left( \text{ME}-4 \right)}$	BIOHAZARD WASTE RECEPTACLE	RUBBERMAID	RED AND BEIGE CANS			
$\left\langle ME-5\right\rangle$	EXAM TABLE	MIDMARK	204			
$\left\langle ME-6\right\rangle$	DX INTEGRATED DIAG. SYSTEM	WELSH ALLYN	W/A77791-1MPX			
ME-7	ROLLING STOOL WITH BACK	MIDMARK	273-001-232			



Plumbing + Access. Location Plan

Scale: 1/4" = 1'-

ACC	ACCESSORIES / SPECIALTIES SCHEDULE						
No.	Description	Manufacturer	Model	Remarks			
SP-1	DISPENSER, TOWEL WITH WASTE RECEPTACLE	BOBRICK	CONTURA SERIES B-369	STAINLESS STEEL SATIN FINISH			
$\langle SP-2 \rangle$	DISPENSER, TOILET PAPER	BOBRICK	CONTURA SERIES B-2888	STAINLESS STEEL SATIN FINISH			
$\langle SP-3 \rangle$	SEAT COVER DISPENSER	BOBRICK	CONTURA SERIES B-4221	STAINLESS STEEL SATIN FINISH			
$\langle SP-4 \rangle$	MIRROR	KENTWOOD MIRRORS.COM	POLISHED EDGES	BASED ON 345 RECTANGLE FRAMELESS FROSTED EDGE MIRROR, SCREWED TO WALL			
$\langle SP-5 \rangle$	GRAB BARS	BOBRICK	CLASSIC SERIES B-6806	STAINLESS STEEL SATIN FINISH REFER TO PLANS FOR LOCATIONS AND SIZES			
$\langle SP-6 \rangle$	BABY CHANGING TABLE HORIZONTAL	LOALA KARA	LOALA KARA KB110- SSRE	STAINLESS STEEL SATIN FINISH REFER TO PLANS FOR LOCATIONS			
$\langle SP-7 \rangle$	UNDERSINK PIPING COVER	IPS CORP.	LAV. GUARD 2				
$\langle SP-8 \rangle$	PAPER TOWEL DISPENSER	BOBRICK	B-2621				
$\langle SP-9 \rangle$	СОАТ НООК	DOUG MOCKETT & COMPANY	CH5-SINGLE HOOK COAT HOOK	HAT AND COAT HOOK LOCATE AT INSIDE OF ROOM			
(SP-10)	GROMMET CAP AND SLEEVE	MOCKETT	EDP FLIP TOP 2 1/2" HOLE				
<b>SP−11</b>	CABINET LOCK SYSTEM	OLYMPUS LOCK INC.	SMALL PIN TRUMBLER CABINET LOCKS				
<b>⟨</b> SP−12 <b>⟩</b>	HAND SANITIZER	PURELL	278012	SUPPLIED AND INSTALLED BY HOSPITAL			
<b>(</b> SP−13 <b>)</b>	DRAWER SLIDE	ACCURIDE	3832CSC	MEDIUM DUTY SLIDE			
⟨SP-14⟩	HINGE	BLUM	MODUL SYSTEM				
<b>SP−15</b>	COUNTER/SHELF SUPPORT	HAFELE	WORK SURFACE BRACKET				
<b>SP−16</b>	CABINET PULLS	HAFELE	115.21.003	DECORATIVE MATT STAINLESS STEEL FIN.			
<b>SP−17</b>	WATER FILTRATION COOLER	PURE AND NATURAL	PWC-1500F	PROVIDE COLD WATER SUPPLY REFER			
(SP-18)	CORNER GUARDS	PRO-TEK PAWLING CORP.	CG-20R, 2" WINGS	COLOR TOBE SELECTED BY ARCHITECT			
(SP-19)	CALL FOR AID	EDWARDS SIGNALING & SECURITY SYSTEMS	7008N-N5/6537				

PLU	PLUMBING FIXTURES SCHEDULE						
No.	Description	Manufacturer	Model	Remarks			
(PF-1)	TOILET FLUSH VALVE	AMERICAN STD. SELECTRONIC	3641.511 6065.111.002	BISQUE FINISH			
	SEAT	AMERICAN STANDARD	5905.100	BISQUE FINISH			
(PF-2)	LAVATORY FAUCET	BRADLEY 1200 SERIES S53-315					
(PF-3)	LAVATORY SINK	AMERICAN STD.	COMRADE 0124.131	BISQUE FINISH			
(PF-4)	LAVATORY CARRIER FLOOR MT'D. CONCEALED ARM "TRACK" LAVATORY CARRIER	WATTS WATER TECHNOLOGIES	TCA-411				
(PF-5)	EXAM RM. FAUCET	AMERICAN STD.	MONTERREY 7500 SERIES	ADA SERIES 4" SPREAD			
(PF-6)	EXAM ROOM SINK	ELKAY	ELUHAD1212 ADA 5 1/2" DEEP	ADA 5 1/2" DEEP BOWL DROP IN SINK / 4" SPREAD			

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Key Plan

lan |

Issues / Revisions						
NO.	DATE	ISSUE FOR PERMIT/REVISION				
	06.14.22	ISSUE FOR PERMIT/BIDS				

Project

Stamford Pediatric Care 60 Strawberry Hill Ave Stamford, Connecticut

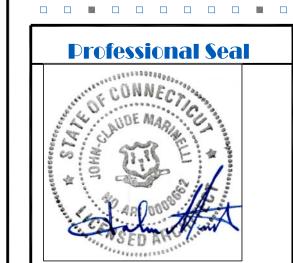
Drawing

Medical Equipment Location Plan + Access. / Plumbing Plan

Client

DERAS LLC 60 Strawberry Hill Ave Stamford, Connecticut

Consultant



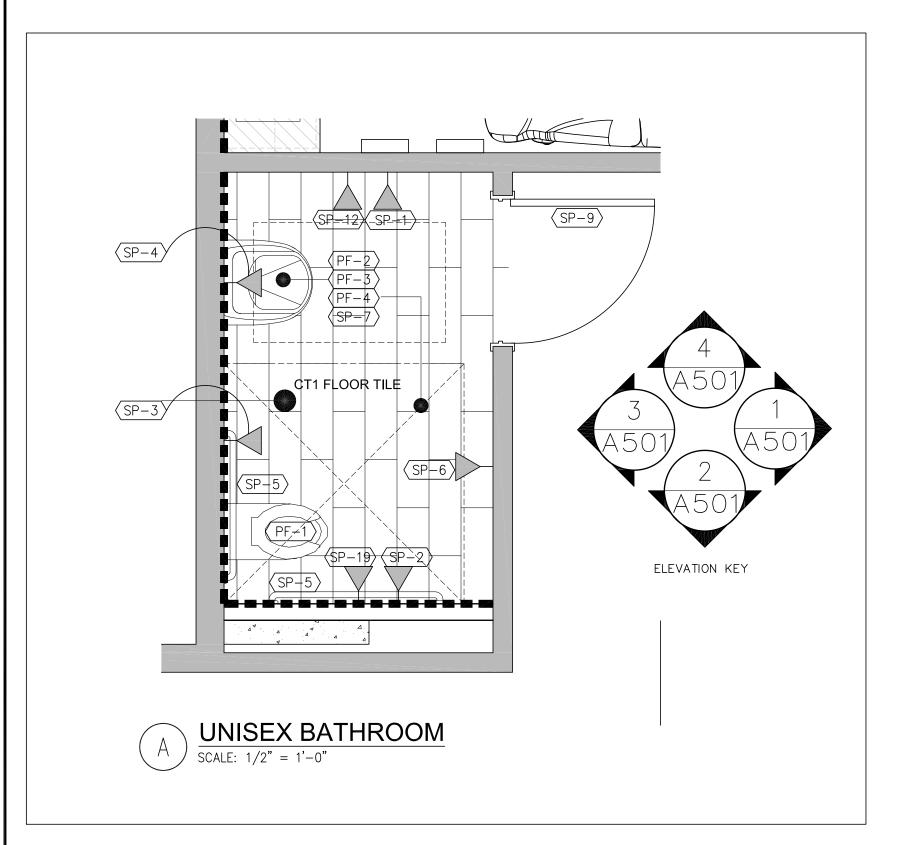


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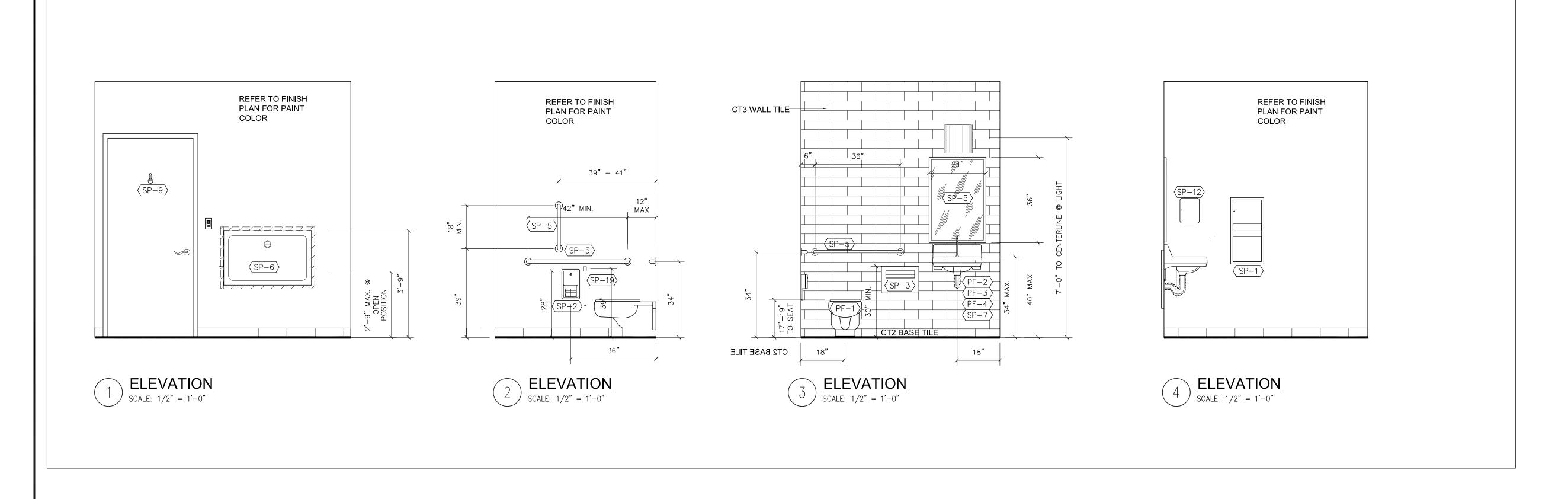
JCM
DATE:

A301



ACC	ACCESSORIES / SPECIALTIES SCHEDULE							
No.	Description	Manufacturer	Model	Remarks				
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$\langle SP-7 \rangle$	UNDERSINK PIPING COVER	IPS CORP.	LAV. GUARD 2					
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$\langle SP-9 \rangle$	COAT HOOK	DOUG MOCKETT & COMPANY	CH5-SINGLE HOOK COAT HOOK	HAT AND COAT HOOK LOCATE AT INSIDE OF ROOM				
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⟨SP-18⟩	CORNER GUARDS	PRO-TEK PAWLING CORP.	CG-20R, 2" WINGS	COLOR TOBE SELECTED BY ARCHITECT				
⟨SP-19⟩	CALL FOR AID	EDWARDS SIGNALING & SECURITY SYSTEMS	7008N-N5/6537					

				T	
No.	Description	Manufacturer	Model	Remarks	
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$\langle PF-1 \rangle$	FLUSH VALVE	SELECTRONIC	6065.111.002		
	SEAT	AMERICAN STANDARD	5905.100	BISQUE FINISH	
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NO. DATE ISSUE FOR PERMIT/REVIS			
		ISSUE FOR PERMIT/BIDS	
	00.17.22	1330E FOR FERMIT/BIDS	

# Project

Stamford Pediatric Care 60 Strawberry Hill Ave Stamford, Connecticut

# Drawing

Enlarged Bathroom Plan + Elevations

# Client

DERAS LLC 60 Strawberry Hill Ave Stamford, Connecticut

Consultant



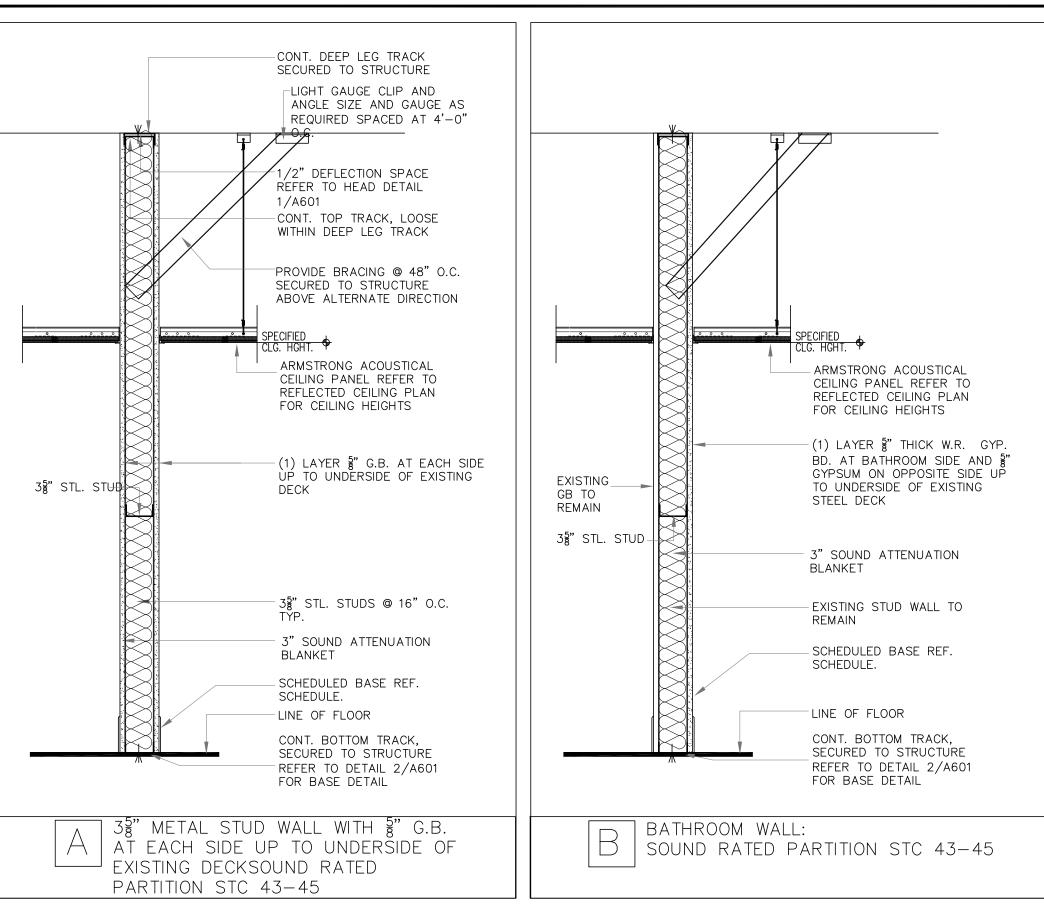


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Email: Johnarch@optonline.net www.marinelliarchitects+plannersllc.com

AS NOTED



DOOR

ENTRY EXTG NA

3'0"X7'0" H.M. 1

3'0"X7'0" H.M. 1

3'0"X7'0" | EXTG | NA

3'0"X7'0" H.M.

3'0"X7'0" H.M.

3'0"X7'0" H.M.

2'0"X7'0" H.M.

3'0"X7'0" H.M.

FRAME

NA

GYP.BD.

GYP.BD.

GYP.BD.

GYP.BD.

GYP.BD.

A A1 2

Α

A1 2

A A1 3 YES

A | A1 | 4 | YES

NA NA EXT'G YES

A1 5 YES

1 GYP.BD.

1 GYP.BD.

EXTG NA

H.M.

H.M.

H.M.

H.M.

H.M.

H.M.

H.M.

EXTG NA

PARTITION NOTES:	THROUGH-PENE	tration fire	E-STOPPING SYSTEM SCHEDULE			
1. PARTITION WALL TYPES NOTED ON PARTITION PLAN A100.	PENETRATIONS THROUGH G	YPSUM BOARD WALL	ASSEMBLIES	PENETRATIONS THROUGH CONCRE	TE WALLS OR C	CONCRETE MASONRY WALLS
2. AT STUD PARTITIONS AND FURRED WALLS, PROVIDE	TYPE OF PENETRATION	F-RATING (HR)	UL-CLASSIFICATION SYSTEM	TYPE OF PENETRATION F-	-RATING (HR)	UL-CLASSIFICATION SYSTEM
MOISTURE RESISTANT GYPSUM WALL BOARD AT ALL TOILET ROOMS, SHOWERS, CUSTODIAL CLOSETS, SOILED UTILITY ROOMS, HOUSE KEEPING CLOSET, MECHANICAL EQUIPMENT	METAL PIPES OR CONDUITS	2	W-L-1054, W-L-1164, W-L-1170, W-L-1297 W-L-1054, W-L-1164, W-L-1170, W-L-1297	SINGLE METAL PIPES OR CONDUITS	1 2	REFER TO NOTES 1 AND 4 C-AJ-1435, NOTE 2
ROOMS, AND WITHIN TEN FEET OF ANY PLUMBING FIXTURE LOCATION UNLESS OTHERWISE NOTED, EXCEPT WHERE TILED WALL FINISHES WHERE NOTE # 3 BELOW APPLIES.	NON-METALLIC PIPE OR CONDUIT	1 2	W-L-2078, W-L-2098, W-L-2406 W-L-2078, W-L-2098, W-L-2406	SINGLE NON-METALLIC PIPE OR CONDUIT (I.E. PVC,CPVC, ABS, FRP)	1 2	REFER TO NOTES 1 AND 4 W-L-2109, C-AJ-2488, NOTE 2
3. AT STUD PARTITIONS AND FURRED WALLS, PROVIDE	SINGLE OR W-L-3282	1	W-L-3065, W-L-3112, W-L-3122, W-L-3224, W-L-3272,	SINGLE OR	1	REFER TO NOTES 2 AND 4
SUITABLE TILE BACKING BOARD (TYPE "X" AT RATED WALLS) OVER MINIMUM 0.0312" THICK METAL STUD FRAMING BEHIND	BUNDLED CABLES	2	W-L-3065, W-L-3112, W-L-3122, W-L-3272, W-L-3282	BUNDLED CABLES	2	C-AJ-3216
CERAMIC, PORCELAIN AND STONE TILE WALL FINISHES. REFER TO FINISH SCHEDULE.	CABLE TRAY	1 2	W-L-4011, W-L-4060 W-L-4011, W-L-4060	CABLE TRAY	1 2	REFER TO NOTES 1 AND 4 C-AJ-4701, NOTE 2
4. MATERIAL AND CONSTRUCTION OF FIRE RATED PARTITIONS INCLUDING TAPING AND FINISHING OF GYPSUM BOARD FOR FULL HEIGHT, SHALL BE IN ACCORDANCE WITH	SINGLE INSULATED METAL PIPES	1 2	W-L-5028, W-L-5029, W-L-5096 W-L-5028, W-L-5029, W-L-5096	SINGLE INSULATED METAL PIPES	1 2	NOTES 1 AND 4 C-AJ-5091, C-AJ-5096, NOTE 2
DESIGNATED FIRE TEST AND MANUFACTURER'S DIRECTION TO ACHIEVE FIRE RESISTANCE RATING INDICATED. SEAL PERIMETERS AND ALL PENETRATIONS THROUGH FIRE	NON-INSULATED MECH. DUCT WITHOUT DAMPERS	1 2	W-L-7040, W-L-7042, W-L-7059 W-L-7040, W-L-7042, W-L-7059	ELECTRICAL BUS-WAY	1 2	REFER TO NOTES 1 AND 4 REFER TO NOTE 2
RATED PARTITIONS WITH SPECIFIED FIRE RESISTANT RATED  MATERIAL. REFER TO DRAWING A/A601 FOR TYPICAL  THROUGH PENETRATION FIRE STOP SYSTEMS AND FIRE RESISTIVE	MULTIPLE PENETRATIONS	1 2	W-L-1095, W-L-1389, W-L-8013, W-L-8065 W-L-1095, W-L-1389, W-L-8013, W-L-8065	NON-INSULATED MECH. DUCT WITHOUT DAMPERS	1 2	REFER TO NOTES 1 AND 4 C-AJ-7085, NOTE 2
JOINT SYSTEMS.  5. ALL PARTITIONS SHALL BE SEALED AIR TIGHT FOR FULL	FLEXIBLE ALUMINUM OR STEEL CONDUIT, FLEXIBLE STEEL GAS PIPE	1 2	W-L-1243 W-L-1243	MULTIPLE PENETRATIONS	1 2	REFER TO NOTES 1 AND 4 C-AJ-8143, C-AJ-8148, NOTE 2
HEIGHT INCLUDING PERIMETER AND ALL PENETRATIONS, TAPE AT BOTH FACES AND FINISH GYPSUM WALL BOARD JOINT AND FASTENERS.	OPTICAL FIBER RACEWAY OR ENT PIPE	1 2	W-L-2165 W-L-2165	FLEXIBLE ALUMINUM OR STEEL CONDUIT, FLEXIBLE STEEL GAS PIPE	1 2	REFER TO NOTES 1 AND 4 C-AJ-1346
6. SEE DOOR AND FRAME DETAILS FOR TYPICAL NOTES AND DETAILS ON FRAMING AND ANCHORING REQUIREMENTS.	SINGLE PLASTIC PEX TUBING	1 2	W-L-2186 W-L-2186	MULTIPLE STEEL CONDUITS OR EMT PIPES	1 2	REFER TO NOTES 1 AND 4 C-AJ-1513
7. PROVIDE CONTROL JOINTS IN ALL PARTITIONS: a. 30'-0" O.C. MAX FOR GYPSUM WALL BOARD PARTITIONS	FLOWGUARD GOLD BLAZEMASTER CPVC PIPE	1 2	W-L-2377 W-L-2377	SINGLE PLASTIC PEX TUBING	1 2	REFER TO NOTES 1 AND 4 C-AJ-2170

LEVER DESIGN: ATHENS

CHROME SATIN 626

# SEE FINISH PLAN FOR CYLINDER HARDWARE SADDLES TYPES AND MORE INFORMATION <u>SET 1 — ENTRY/WAITING AREA CLASSROOM FUNCTION</u> HARDWARE "LOCKSET" SIZE | MAT | ELEV. | GLASS | MAT | ELEV. | WALL TYPE | JAMB | HEAD | SET | KEY | LABEL | DR. CONTACT | DR. STOPS | NA NA 1 YES 409 409 A A1 2 409 A A1 2

409

409

409

409

409

409

b. PROVIDE RATED CONTROL JOINTS IN ALL RATED PARTITIONS.

DRAWING PREPARED BY THE FIRE-STOPPING MANUFACTURER.

ACCEPTABLE TESTING AND DOCUMENTATION.

1. JOBSITE CONDITIONS OF EACH THROUGH PENETRATION FIRE—STOP SYSTEM SHALL MEET ALL DETAILS OF THE UL—CLASSIFIED

2. IF THE JOBSITE CONDITIONS DO NOT MATCH THE SCHEDULED SYSTEMS, SUBMIT ALTERNATIVE SYSTEMS OR ENGINEERING JUDGEMENT

3. CONTRACTOR SHALL SELECT FROM THE UL-CLASSIFIED SYSTEMS AS LISTED IN THE SCHEDULE AND SELECT APPROPRIATE SYSTEMS

THE BUILDING OFFICIAL WHICH PROVIDES EQUAL OR BETTER THROUGH PENETRATION PROTECTION AND IS SUPPORTED BY

4. COORDINATE WORK WITH OTHER TRADE TO ASSURE THE PENETRATION OPENING SIZES AND LOCATIONS OF ITEMS WITHIN THE

OPENING COMPLY WITH APPLICABLE REQUIREMENTS OF THE UL-CLASIFIED SYSTEMS SELECTED.

FOR ASSEMBLY, OR OR SHALL PROVIDE ANOTHER THROUGH PENETRATION FIRE-STOP SYSTEM APPROVED BY THE ARCHITECT AND

FIRE STOPPING NOTES:

SYSTEMS SELECTED.

SEE SCH.  HOLLOW METAL DOOR	HOLLOW METAL FRAME  2" SEE SCH. 2"  "0-,2"	§" GYP. BD. AT EACH SIDE FOR TO PARTITION TYPES FOR WALL THK,  "" S" S
"1" DOOR TYPE	"1" FRAME TYPE	"A"JAMB / "A1"HEAD

DOOR SCHEDULE

**ROOM NAME** 

101 INTERIOR CORRIDOR

102 | EXAM ROOM 1 (103)

103 EXAM ROOM 2 (104)

104 EXAM ROOM 3 (105)

106 | EXAM ROOM 4 (109)

105 | SOILED LINENS

107 BATHROOM

108 EXIT STAIRS

100 ENTRY

"HINGES" "SILENCERS"	STANLEY - FBB191 X 4 1/2 X 4 X 1 1/2 PAIR ROCKWOOD 608 X 1 1/2 PAIR (METAL/WOOD) ROCKWOOD DOOR STOP SEE SCHEDULE
"DOOR STOP" "CLOSER"	
SET 2 - EXAI	M ROOM PASSAGE FUNCTION
"LOCKSET" "HINGES" "SILENCERS" "DOOR STOP" "COAT HOOK"	ROCKWOOD DOOR STOP SEE SCHEDULE (S.S. SATIN / US32D
SET 3 — STO	DRAGE / STOREROOM FUNCTION
"LOCKSET" "HINGES" "SILENCERS" "DOOR STOP"	
"CLOSER"	LCN 4040 SUPER SMOTHEE
SET 4 - OFFI	<u>CE</u>
"LOCKSET" "HINGES" "SILENCERS" "DOOR STOP" "COAT HOOK"	SCHLAGE - ND50PD STANLEY - FBB191 X 4 1/2 X 4 X 1 1/2 PAIR ROCKWOOD 608 X 1 1/2 PAIR (METAL/WOOD) ROCKWOOD DOOR STOP SEE SCHEDULE (S.S. SATIN / US32D HAFELE HAT/COAT HOOK 845.05.200
SET 5 - BATH	ROOMS_

SCHLAGE - ND70PD

SCHLAGE - ND40PD

(S.S. SATIN / US32D

LCN 4040 SUPER SMOOTHEE

STANLEY - FBB191 X 4 1/2 X 4 X 1 1/2 PAIR

ROCKWOOD 608 X 1 1/2 PAIR (METAL/WOOD)

ROCKWOOD DOOR STOP SEE SCHEDULÉ

HAFELE HAT/COAT HOOK 845.05.200

"LOCKSET"

"SILENCERS"

"DOOR STOP"

"COAT HOOK"

"HINGES"

"CLOSER"

# NOTES

FLOWGUARD GOLD

BLAZEMASTER CPVC PIPE

1) SEE GENERAL NOTES AND CONDITIONS FOR FURTHER INFO AND SPECIFICATIONS.

REFER TO NOTES 1 AND 4

REFER TO NOTE 2

- 2 ALL DOORS AND FRAMES TO BE INSTALLED PLUMB AND LEVEL. ACCURATELY ALIGNED AND SECURELY ANCHORED. ADJUST DOORS AND HARDWARE FOR SMOOTH OPERATION.
- 3 ALL HARDWARE TO BE IN COMPLIANCE WITH APPLICABLE CODE AND REGULATIONS INCLUDING THE ADA.
- (4) G.C. TO UNDERCUT DOORS AND FRAMES IF NECESSARY TO PROVIDE ALIGNMENT OF FRAMES AT HEAD.
- G.C. TO SUBMIT ALL DOOR, FRAME AND HARDWARE SCHEDULES AND SPECS INCLUDING CATALOG CUTS FOR ARCHITECT'S REVIEW.
- 6 HOLLOW METAL STEEL DOOR AND FRAMES TO COMPLY WITH ANSI A250.8.
- A) EXTERIOR DOORS:
- TO BE LEVEL 2 AND PHYSICAL PERFORMANCE LEVEL B (HEAVY DUTY), MODEL 1 (FULL FLUSH).
- B) INTERIOR DOORS: TO BE LEVEL 1 AND PHYSICAL PERFORMANCE LEVEL C (STANDARD DUTY),
- MODEL 1 (FULL FLUSH). C) EXTERIOR FRAMES:
- FABRICATE FRAMES WITH MITERED OR COPED AND WELDED FACE CORNERS AND SEAMLESS FACE JOINTS. D) INTERIOR FRAMES:
- FABRICATE KNOCKED-DOWN FRAMES WITH MITERED OR COPED CORNERS FOR FIELD ASSEMBLY WHERE INDICATED. - FRAMES FOR LEVEL 1 STEEL DOORS: 0.053 INCH (1.3mm) THICK STEEL SHEET,
- UNLESS OTHERWISE NOTED. SOLID CORE VENEER DOORS TO BE CONSTRUCTED IN ACCORDANCE WITH A.W.I.  $\stackrel{\checkmark}{\smile}$  QUALITY STANDARDS SEC. 1300-6-3 TYPE PC-5 TYPE CONSTRUCTION USING 5-PLY
- HOT PROCESS ACCEPTABLE MANUFACTURERS: A ALGOMA HARDWOODS B. EGGERS INDUSTRIES
- C. WEYERHAUSER CO.
- 8 STAIN GRADE DOORS TO BE SHOP FINISHED. SITE FINISHING IS NOT ACCEPTABLE UNLESS PREVIOUSLY APPROVED BY ARCHITECT.
- 9 ALL VENEER TO RUN FROM TOP TO BOTTOM OF DOOR AND TO BE FREE FROM ANY IMPERFECTIONS. "PATCHING" WILL NOT BE ACCEPTED.
- PROVIDE TEMPORARY HARDWARE IF DELAYS IN ACQUIRING FINISH HARDWARE WILL PREVENT INSTALLATION OF DOORS ON TIME. PATCH ANY DAMAGE FROM TEMPORARY HARDWARE.
- (11) ALL ITEMS MARKED 'EX.' ARE EXISTING TO REMAIN. G.C. SHALL MODIFY EXISTING 'ITEMS TO ACCOMMODATE ANY NEW SECURITY OR HARDWARE REQUIREMENTS OR REPLACE ITEM TO SATISFY THOSE REQUIREMENTS.
- G.C. TO COORDINATE POWER REQUIREMENTS FOR DOORS EQUIPPED WITH ELECTRICAL DEVICES. (ELECTRIC STRIKES AND RELEASES). G.C. TO PROVIDE REQUIRED POWER PER INSTRUCTIONS FROM CLIENT'S SECURITY VENDOR / CONSULTANT.
- (13) ALL HARDWARE IS TO BE INSTALLED WITH CONCEALED FASTENERS.
- (14) ALL LOCK AND LATCHSETS AND PULLS TO BE MOUNTED WITH A 2 3/4" BACKSET (U.O.N.).
- (15) INSTALL SURFACE MOUNTED CLOSERS AT INTERIOR SIDE OF ROOM UNLESS OTHERWISE NOTED.
- (16) WHERE INDICATED, INSTALL  $1-\frac{1}{2}$  PAIR BUTT HINGES ON 7'-0" TALL DOORS AND  $^{\prime}$  2 PAIRS AT 8 $^{\prime}$ -0 $^{\prime\prime}$  TALL DOORS.
- (17) PROVIDE 3" UNDERCUT AT ALL TYPICAL DOORS UNLESS NOTED OTHERWISE. SEE SCHEDULE FOR DOORS WITH THRESHOLDS.
- PROVIDE TWO (2) KEYS FOR ALL SPECIFIED LOCKSETS AND TURN OVER TO NEW TENANT PRIOR TO MOVE—IN.
- CONSULT TENANT REGARDING ADDITIONAL INFORMATION ABOUT SECURITY SYSTEM AND KEYING. ALL LOCKS TO BE KEYED TO BASE BUILDING GRAND MASTER SYSTEM. EE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- (20) ALL NEW HARDWARE FINISHES ARE TO BE BRUSHED CHROME US26D OR EQUAL.
- 21) ALL EXISTING WOOD AND HOLLOW METAL DOORS TO REMAIN OR TO BE RELOCATED ARE TO BE PAINTED, SEE FINISH PLAN
- (22) LEVER DESIFN: ATHENS / ATH (L-SERIES 07)

**Key Plan** 

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Project

Stamford Pediatric Care 60 Strawberry Hill Ave Stamford, Connecticut

| Wall Types + Details + Door Schedule

**Drawing** 

Client

DERAS LLC 60 Strawberry Hill Ave Stamford, Connecticut

Consultant





ARCHITECTS + PLANNERS,LLC

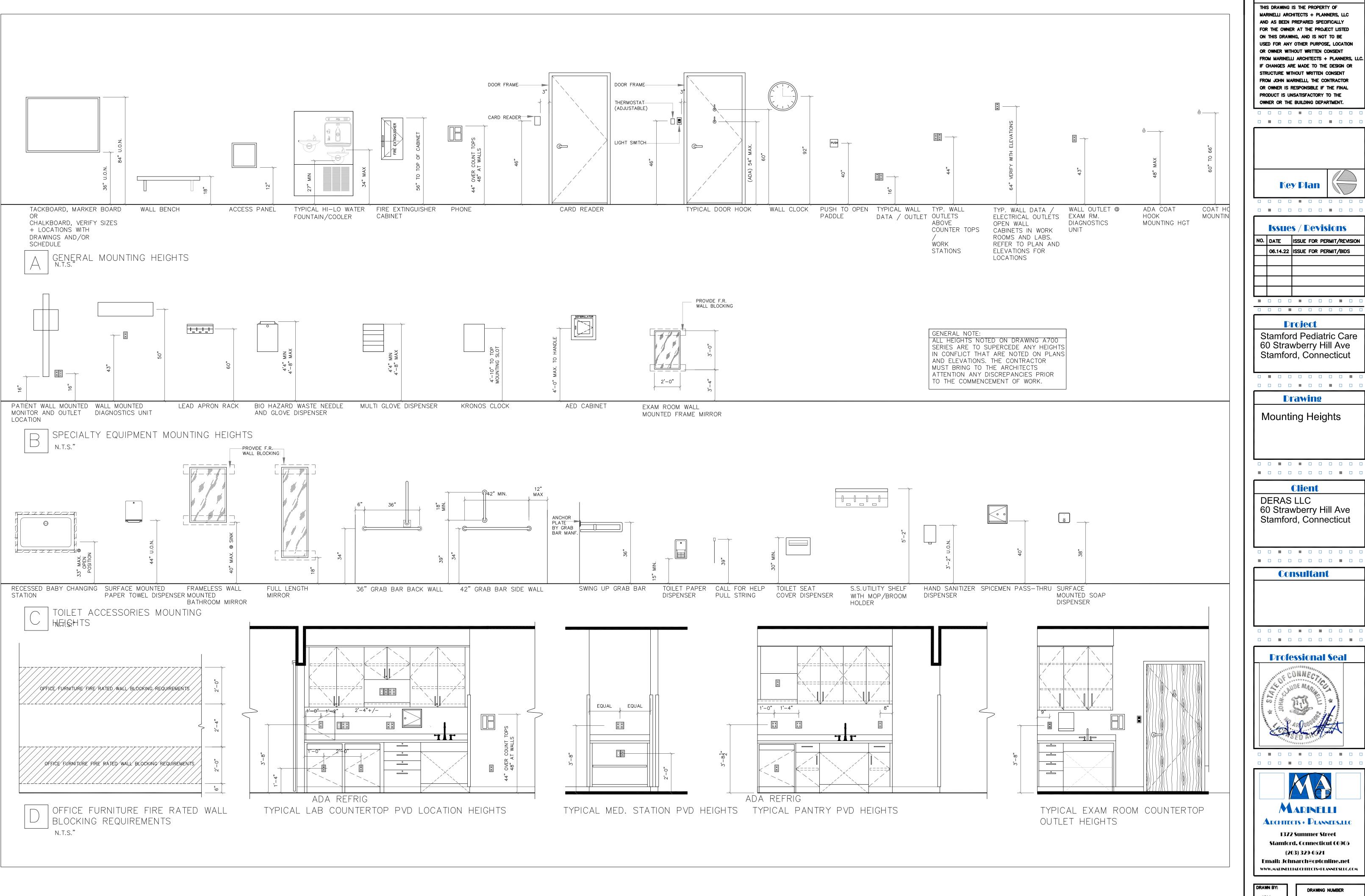
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**Key Plan** 

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Project

Stamford Pediatric Care 60 Strawberry Hill Ave Stamford, Connecticut

Drawing

**Mounting Heights** 

Client

DERAS LLC 60 Strawberry Hill Ave Stamford, Connecticut

Consultant

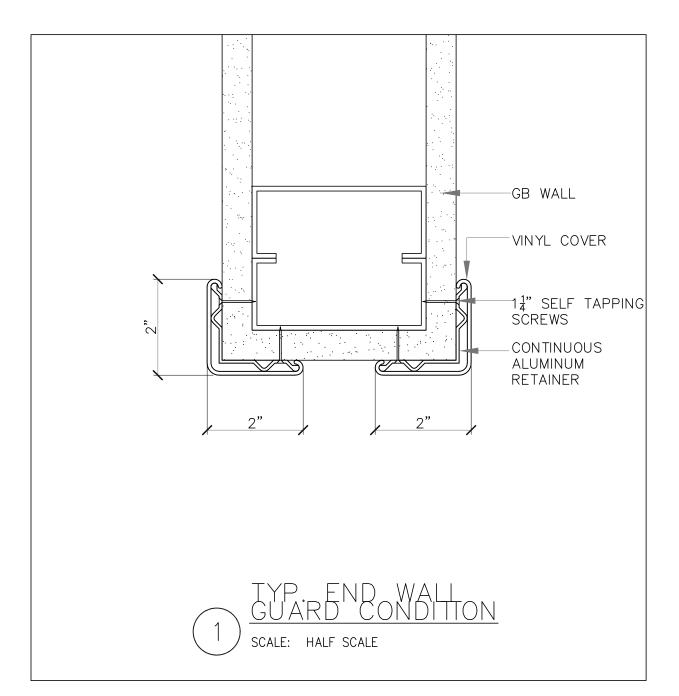


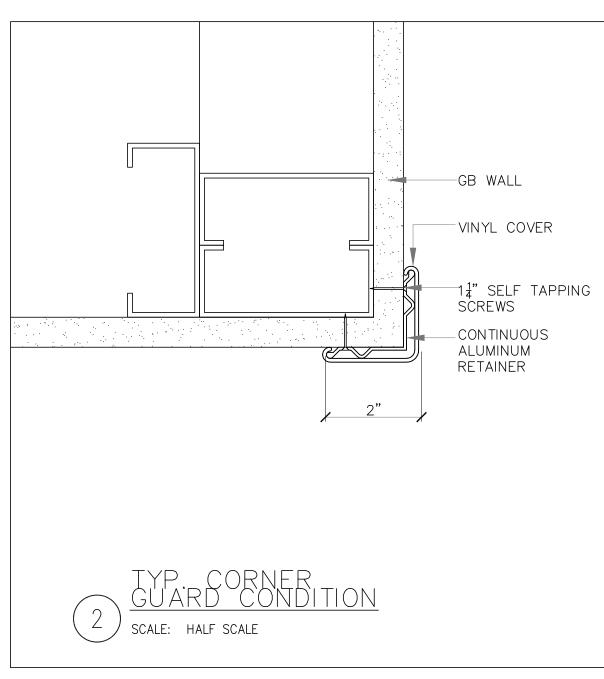


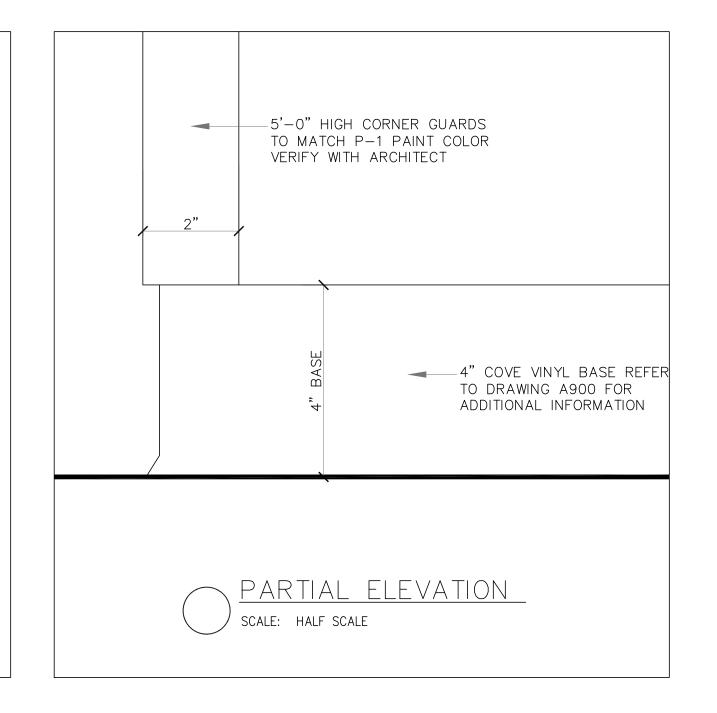
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# Project

Stamford Pediatric Care 60 Strawberry Hill Ave Stamford, Connecticut

# Drawing

Miscellaneous Details

# Client

DERAS LLC 60 Strawberry Hill Ave Stamford, Connecticut

Consultant





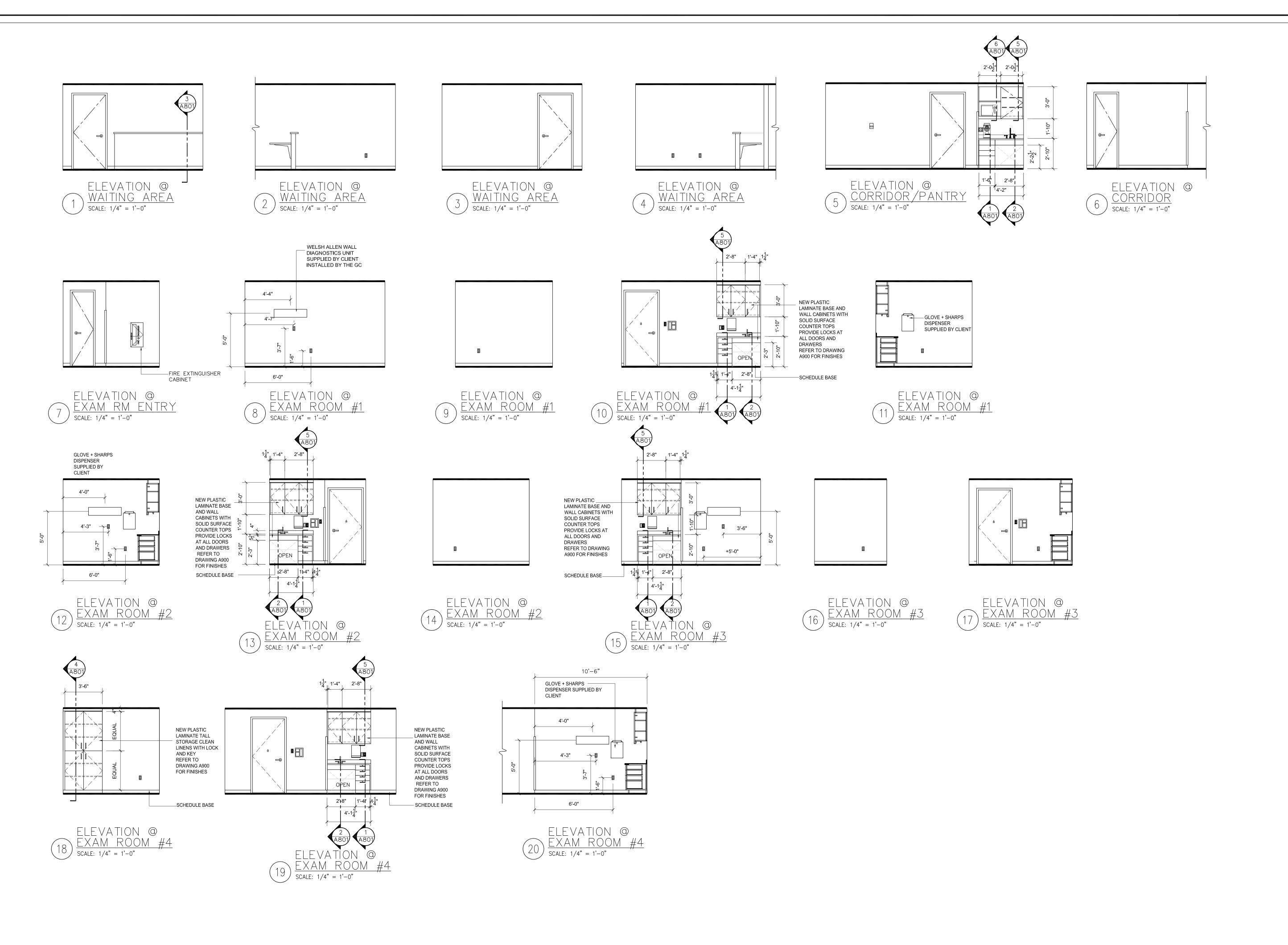
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# Project

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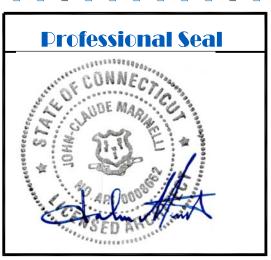
# Drawing

Interior Elevations

# Client

**DERAS LLC** 60 Strawberry Hill Ave Stamford, Connecticut

Consultant



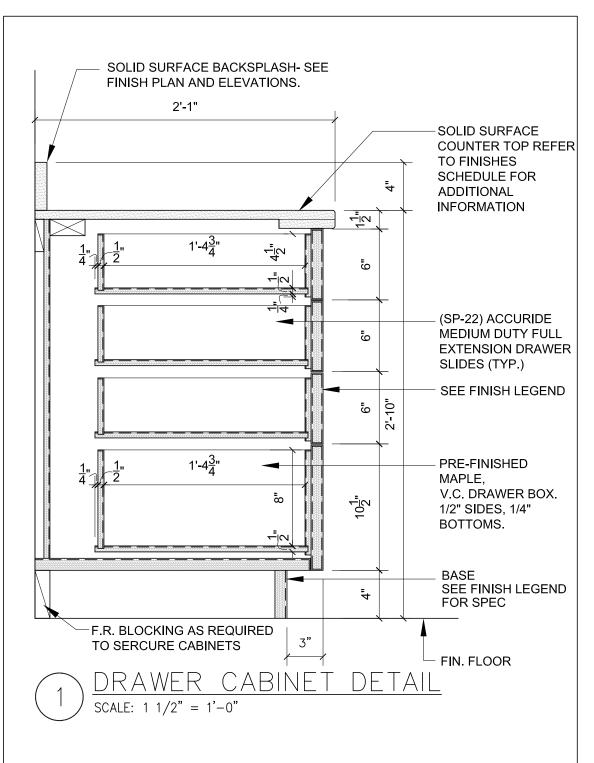


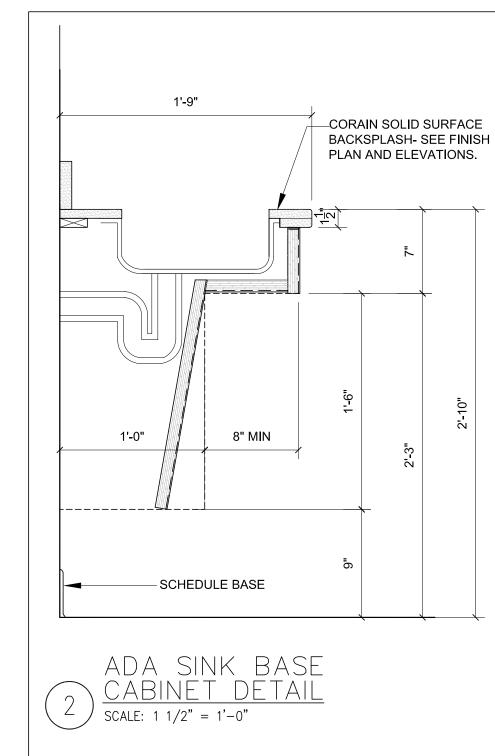
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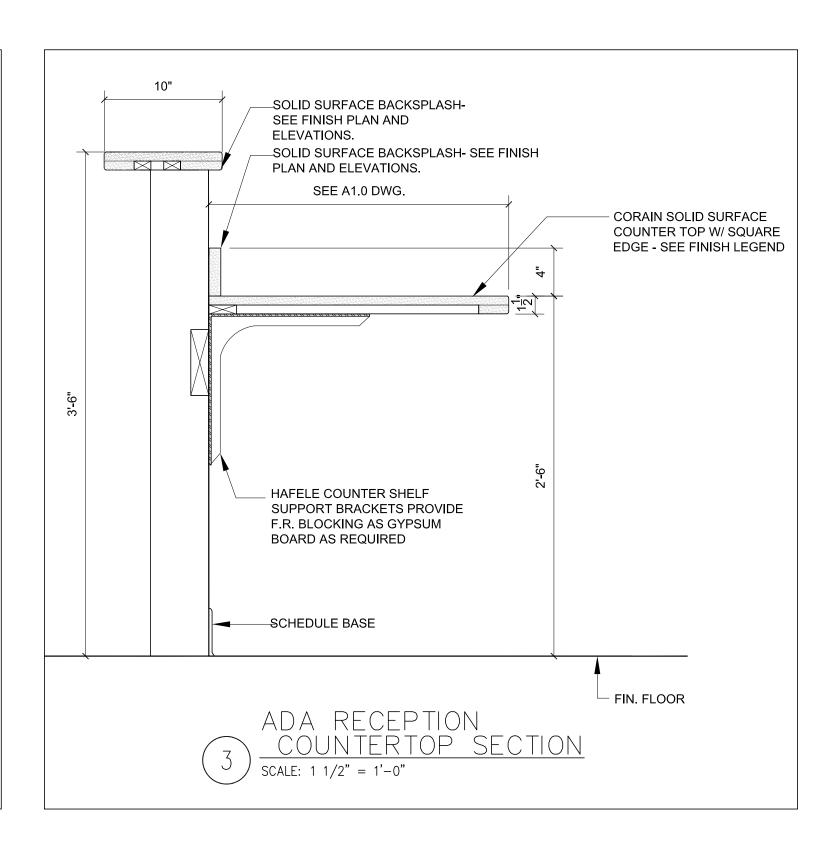
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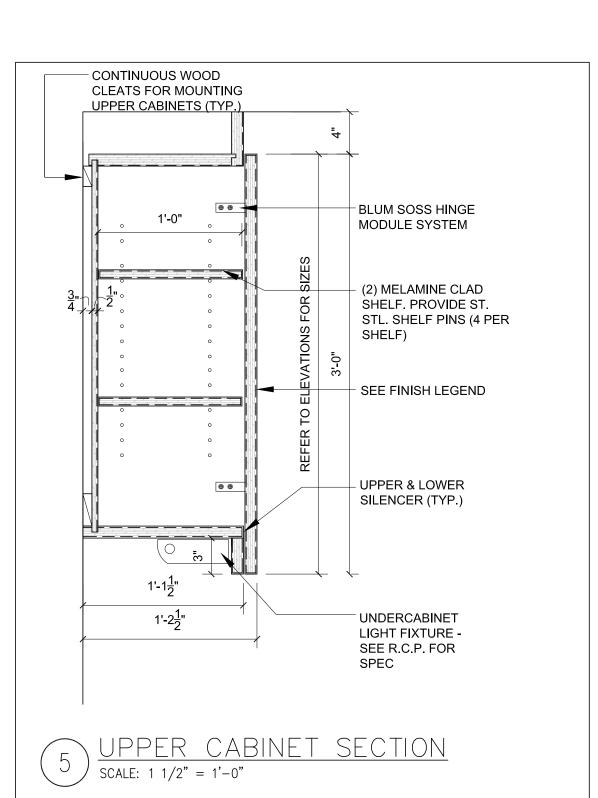
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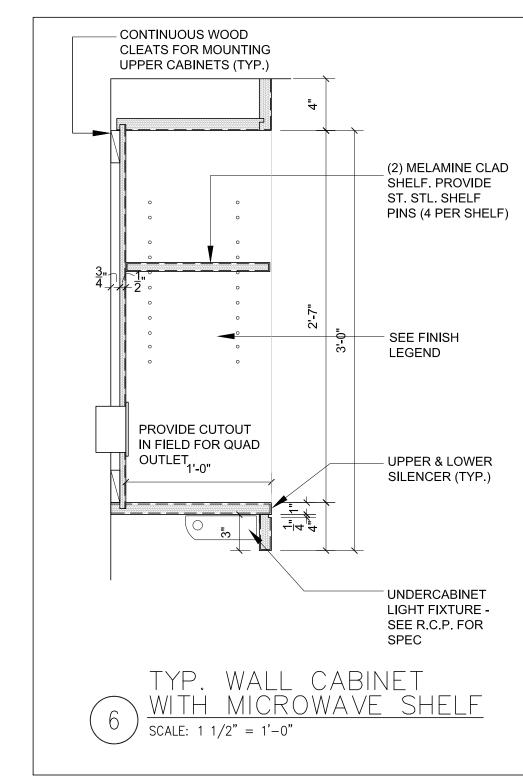
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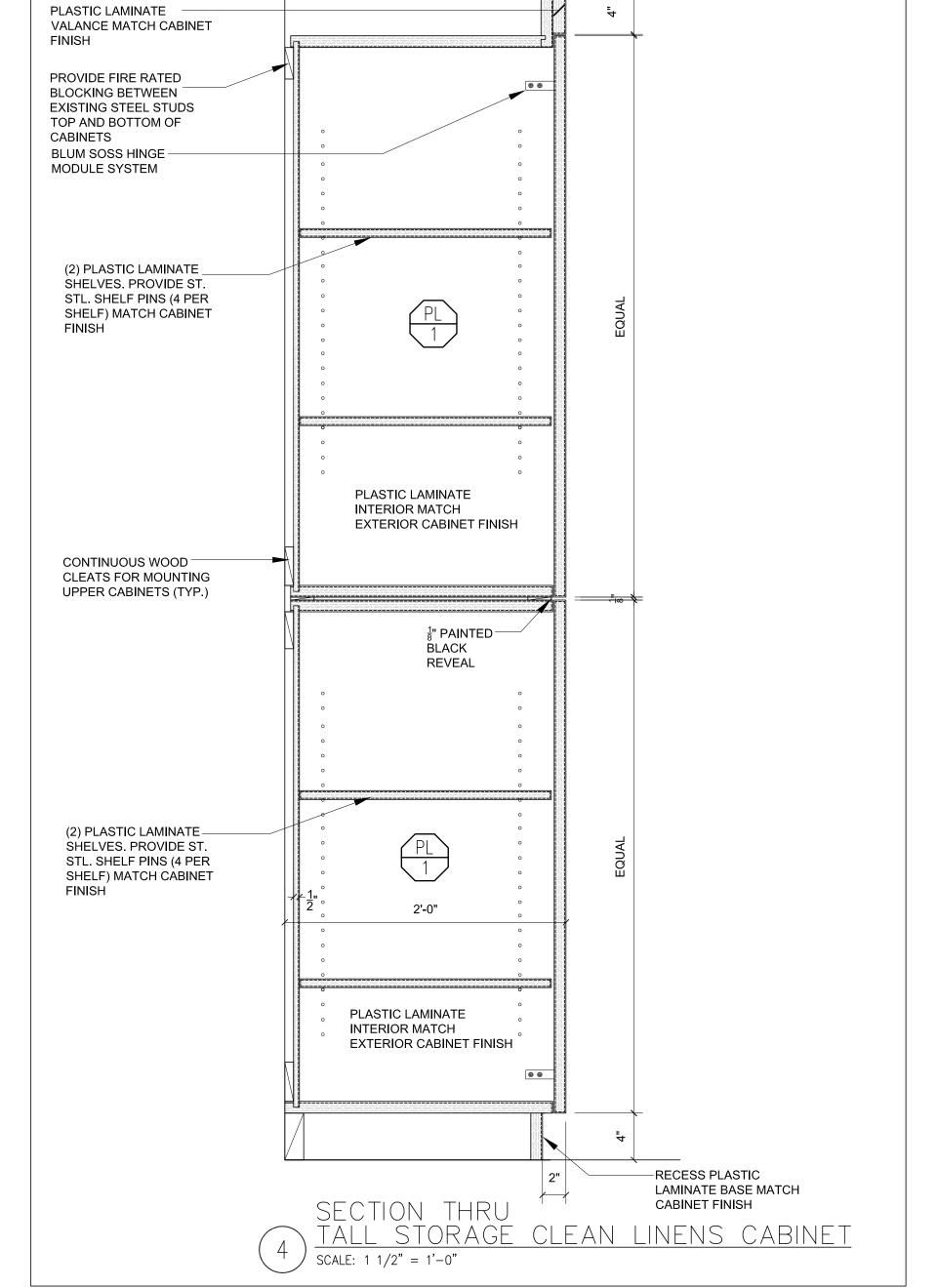












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**Key Plan** 

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Project

Stamford Pediatric Care 60 Strawberry Hill Ave Stamford, Connecticut

Drawing

| Millwork Details

Client

**DERAS LLC** 60 Strawberry Hill Ave Stamford, Connecticut

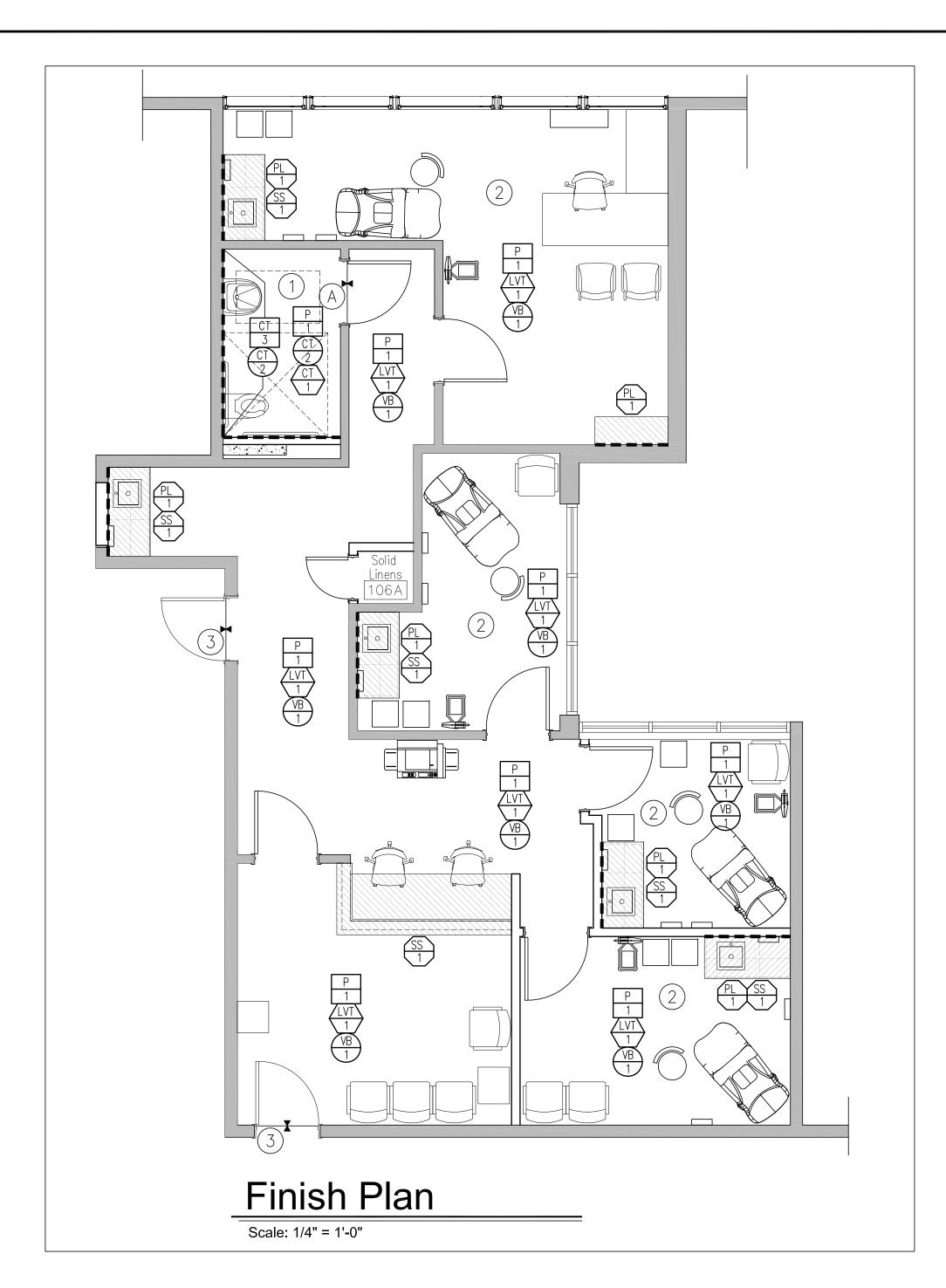
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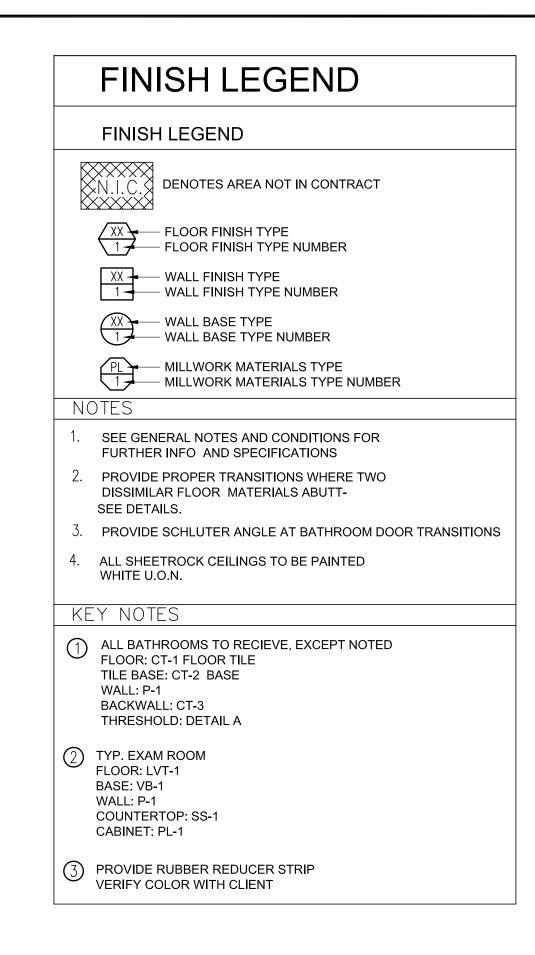


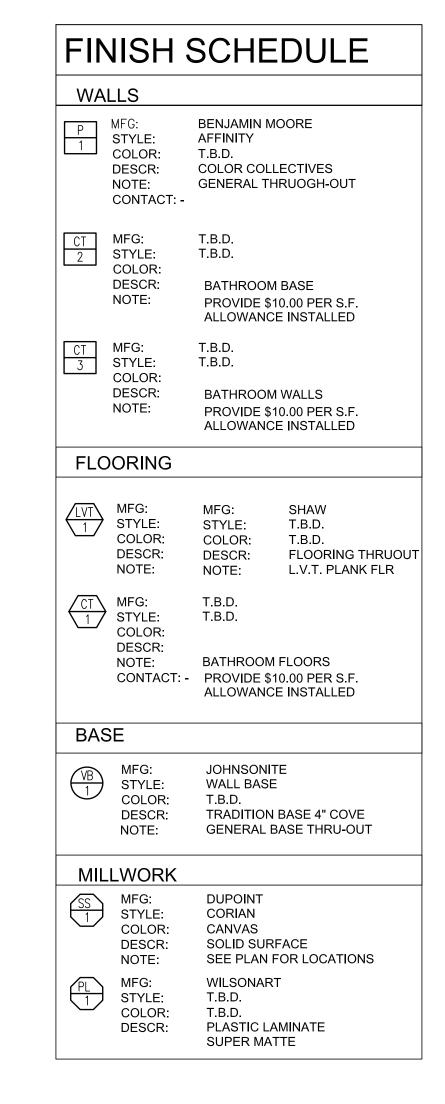


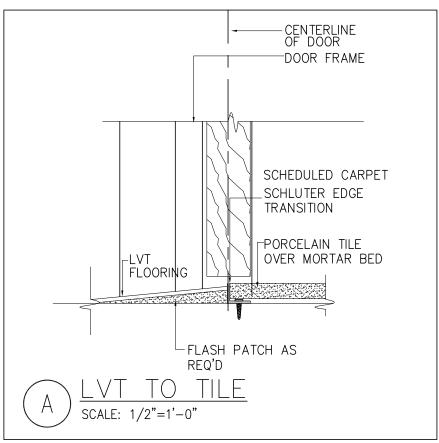
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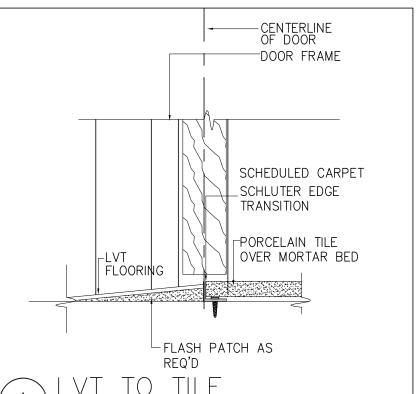
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**Key Plan** 

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Project

Stamford Pediatric Care 60 Strawberry Hill Ave Stamford, Connecticut

Drawing

Finish Plan + Floor Transition Details

Client

DERAS LLC 60 Strawberry Hill Ave Stamford, Connecticut

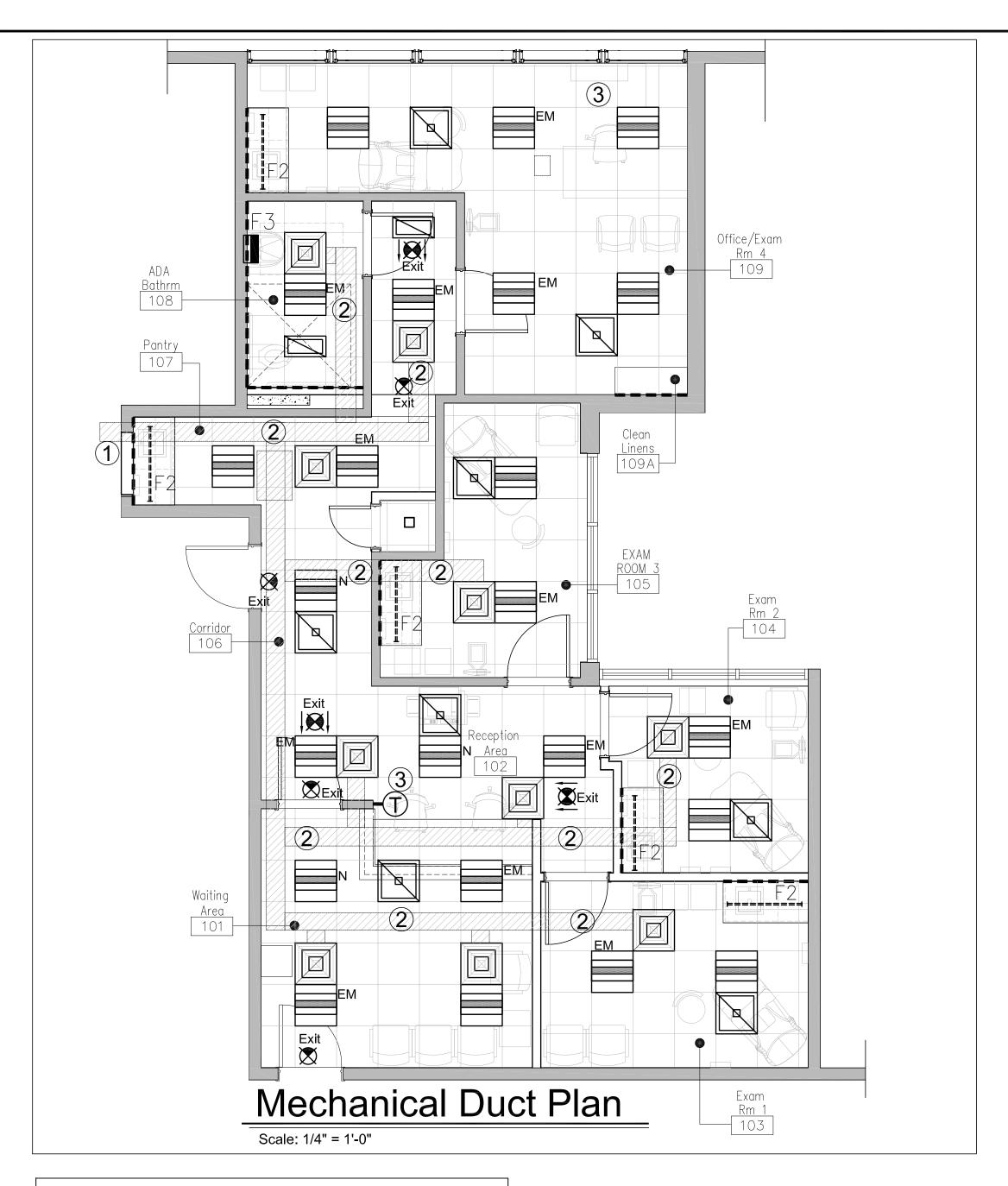
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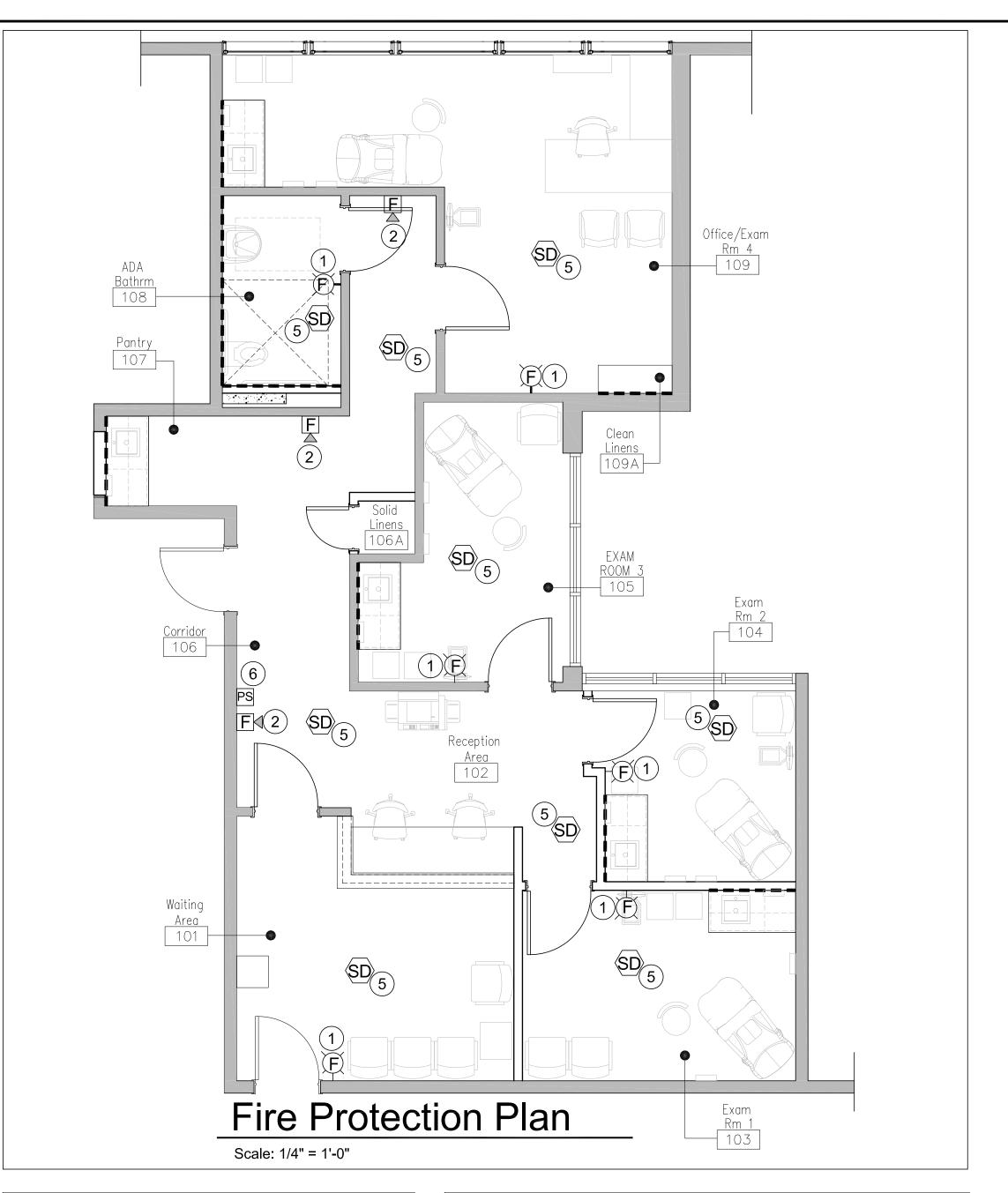
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# **KEY NOTES**

- 1 FIRE ALARM STROBE LIGHT UNIT TO BE WIRED BACK TO BUILDING FIRE ALARM CONTRACTOR TO COORDINATE WITH BUILDING MAINTENANCE
- COMBINATION FIRE ALARM SPEAKER-HORN AND STROBE LIGHT UNIT TO BE WIRED BACK TO BUILDING FIRE ALARM PANEL
- CONTRACTOR TO COORDINATE WITH BUILDING MAINTENANCE (3) VERIFY WITH CLIENT LOCATION OF NEW THERMOSTAT
- NEW P-TAC UNIT IN ROOM 109. AMANA 12,000 BTU / 277 SINGLE PHASE HEATING AND COOLING UNIT TO BE INSTALLED AT EXISTING SLEEVE. FIELD VERIFY EXISTING CONDITIONS PRIOR TO PURCHASE. PROVIDE OUTSIDE AIR INTAKE ACCESSORY
- (5) PROVIDE SMOKE DETECTORS WIRED BACK TO EXISTING BUILDING FIRE ALARM SYSTEM CONTRACTOR TO COORDINATE WITH BUILDING MAINTEN



# FIRE PROTECTION LEGEND



DENOTES AREA NOT IN CONTRACT

- FIRE ALARM STROBE LIGHT UNIT, FLUSH WALL MOUNTED WITH ADJUSTABLE CANDELA RATING TO BE TIED INTO EXISTING BUILDING FIRE ALARM PANEL
- COMBINATION FIRE ALARM SPEAKER/STROBE LIGHT UNIT WALL MOUNTED WITH ADJUSTABLE CANDELA RATING TO BE TIED INTO EXISTING BUILDING FIRE ALARM PANEL
- SMOKE MOUNTED ADDRESSABLE SMOKE DETECTOR TO BE TIED INTO EXISTING BUILDING FIRE ALARM PANEL

# **KEY NOTES**

- FIRE ALARM STROBE LIGHT UNIT TO BE WIRED BACK TO BUILDING FIRE ALARM PANEL
- CONTRACTOR TO COORDINATE WITH BUILDING MAINTENANCE COMBINATION FIRE ALARM SPEAKER-HORN AND STROBE LIGHT UNIT TO BE WIRED BACK TO BUILDING FIRE ALARM PANEL
- CONTRACTOR TO COORDINATE WITH BUILDING MAINTENANCE VERIFY WITH CLIENT LOCATION OF NEW THERMOSTAT
- NEW P-TAC UNIT IN ROOM 109. AMANA 12,000 BTU / 277 SINGLE PHASE HEATING AND COOLING UNIT TO BE INSTALLED AT EXISTING SLEEVE. FIELD VERIFY EXISTING CONDITIONS PRIOR TO PURCHASE. PROVIDE OUTSIDE AIR INTAKE ACCESSORY
- PROVIDE SMOKE DETECTORS WIRED BACK TO EXISTING BUILDING FIRE ALARM SYSTEM CONTRACTOR TO COORDINATE WITH BUILDING MAINTENANCE
- (6) EXISTING FIRE ALARM PULL STATION

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# Project

Stamford Pediatric Care 60 Strawberry Hill Ave Stamford, Connecticut

# Drawing

Mechanical Duct Layout Plan + Fire Protection Plan

# Client

**DERAS LLC** 60 Strawberry Hill Ave Stamford, Connecticut

Consultant

**Professional Seal** OF CONNECY



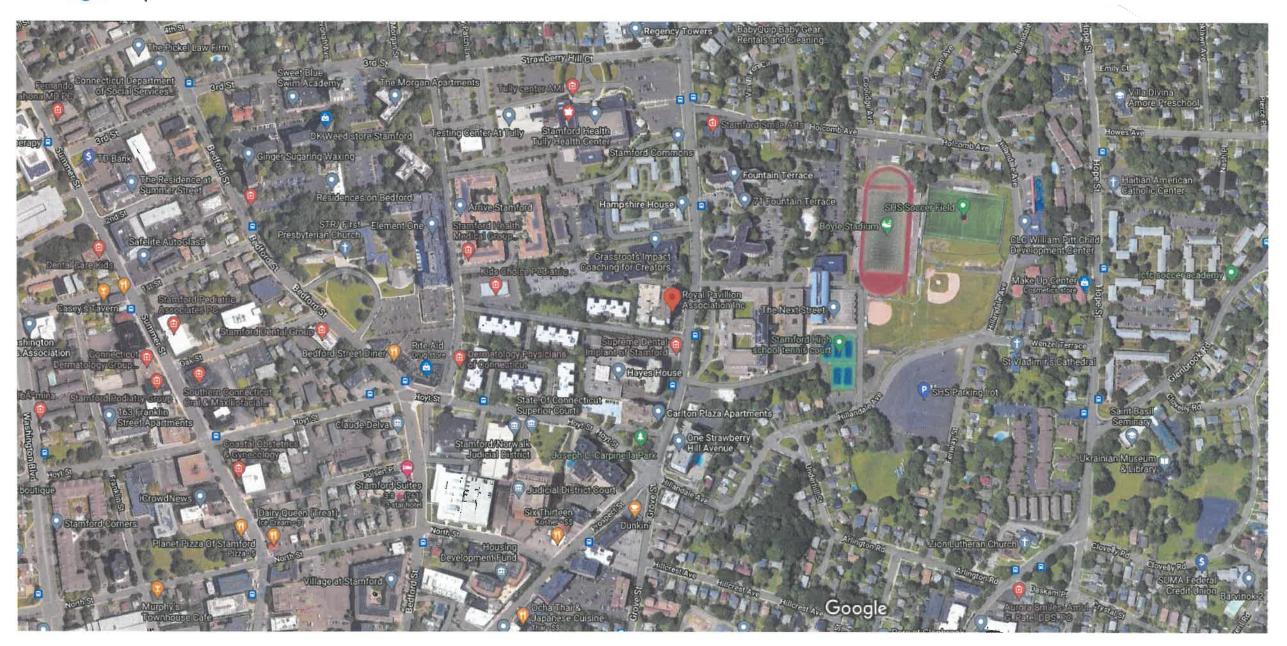
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JCM



# Google Maps Royal Pavillion Association Inc



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# **Zoning Data Chart Template**

Project Name - DERAS LLC

Application number -

Address – 60 Strawberry Hill Avenue, Unit L1

Zoning District(s) - If multiple Zoning Districts, provide requirement and compliance for each portion of site

under the different district: CC

Zoning Section		Required/ Permitted	Existing Conditions	Proposed	Notes (Indicate compliance or Zoning Section for Special Permit if applicable)
	Lot Size		Approx.	Approx.	
		43,560 sq.ft.	47,916 sq.ft.	47,916 sq.ft.	Complies
	Gross Floor Area				
	Zoning Floor Area				
	Residential Commercial		1,063 sq.ft.	1,063 sq.ft.	Complies
	Community Facility				
	Industrial				
	Total				
	F.A.R.				
	Davidantial				
	Residential				
	Commercial				
	Community Fooility				
	Community Facility Industrial				
	Total				
	Number of units				
	Below Market Rate Units (# and %)				
	Number of seats/ beds / employees if applicable				
	Density(Units/Acre)				
	Street Frontage				
	Building Coverage (Area and %)				
	Lot coverage (Area and %)				
	Building Height (Feet)				
	Number of floors				
	Active ground floor (sq.ft. and %) if applicable		1,063 sq.ft.	1,063 sq.ft.	Complies as ground floor is 1/13 of the Building so ground floor uses cannot exceed 10% of the gross Floor Area.
	Yards		,		
	Front yard ( Streetline)				
	Front yard ( St centerline) Rear yard				
	Side yard				
	Parking				
	Residential parking				
	Commercial parking	4	4	4	Complies

Community Facility parking	
Industrial parking	
Public open space parking	
Bike parking	
# of levels of parking garage (if applicable)	
Square footage of parking area	
Parking setback	
Open space (Area and % )	
Active (If separate)	
Passive (If separate)	
Street Trees	
Existing	
Proposed	
<b></b>	
Total	
Signage	
Wall signs (# and size)	
Ground Signs (# and size)	
Blade signs (# and size)	
Fence height	

updated 4/30/2020