



Wiss, Janney, Elstner Associates, Inc.
2 Trap Falls Road, Suite 502
Shelton, Connecticut 06484
203.944.9424 tel
www.wje.com

August 4, 2022

Louis Casolo
City of Stamford
Engineering Bureau
888 Washington Boulevard
The Stamford, CT 06901

Opus Harbor Point: 900 Pacific St, Stamford, CT Visual Survey
WJE No. 2022.0759

Dear Mr. Casolo:

Pursuant with our proposal dated April 6, 2022, and at the request of the Mayor of Stamford, Connecticut's Office, Wiss, Janney, Elstner Associates, Inc. (WJE) has completed our limited assessment of the above referenced property. The following is our report on the matter.

BACKGROUND

Following the partial collapse of the 5th floor plaza level post-tensioned concrete slab at the Allure in Stamford, CT, the mayor of Stamford, Ms. Caroline Simmons asked WJE to perform limited assessments of additional properties that have been developed by Building and Land Technology (BLT) in Stamford utilizing similar construction, similar designs and/or similar construction teams. The scope of these assessments was outlined in a March 25, 2022 letter issued to BLT by Mayor Simmons.

DESCRIPTION OF STRUCTURE

900 Pacific St, also known as P3 is a 15-story residential structure with a single basement level. It was built ca. 2019. Levels Basement through Level 3 primarily consist of parking with some apartments and amenity spaces along the north, east and west sides. Level 4 primarily consists of an exterior amenities terrace with a pool and planters. Some apartments are provided along the east elevation. The overall dimensions of Levels B-4 are approximately 207 feet north/south by 210 feet east/west. Floor to floor heights are between 9.75 feet and 12 feet. Above Level 4, the residential tower continues up to Level 15. The residential tower has overall dimensions of approximately 200 feet north/south by 75 feet east/west. Typical floor heights in the tower are 9.75 feet.

The building structure is founded on pile caps that are supported by pressure injected piles. Floors 1-3 consist of 8 inch thick post-tensioned, cast-in-place, concrete flat plates¹. The flat plates have uniformly spaced draped² post tensioning monostrand tendons that typically span in the east/west direction at 3 feet on center. Banded, draped monostrand tendons span in the north/south direction at the column

¹ A "flat plate" is a reinforced concrete slab without beams or drop panels.
² Draped tendons refers to the elevation profile of the strands which are typically located high in the slab at column lines and low in the slab at midspans.

lines. Conventional reinforcing is also provided with a continuous bottom mat in both directions and top bars in both directions at the columns. Additionally, stud rails³ are provided at some, but not all of the columns. Column spaces vary from approximately 12.25 feet to 28 feet in the north/south direction and approximately 3.5 feet to 26.5 feet in the east/west direction. The columns consist of cast-in-place concrete and are conventionally reinforced.

At the 4th floor level where the amenities deck is provided, the slab thickness ranges from a 10 inch to 14 inch conventionally reinforced slab instead of post tensioned. The slab below the tower at the 4th floor consists of a 7.5 inch thick flat plate post tensioned slab between gridlines T20 through T28 and increases to a 9 in thick post tensioned flat plate slab between gridlines T28 to approximately T30. The flat plates have uniformly spaced draped post tensioning monostand tendons that typically span in the east/west direction at 3 feet on center. Banded, draped, monstrand tendons span in the north/south direction at the column lines. Conventional reinforcing is also provided with a continuous bottom mat in both directions and top bars in both directions at the columns. Additionally, stud rails are provided at some but not all of the columns.

The slabs at the remainder of the tower (floors 5 to 15) consist of a 7.5 inch thick flat plate post tensioned slab between gridlines T20 through T28 and increases to a 9 inch thick post tensioned flat plate slab between gridlines T28 to approximately T30. At the 14th floor, the slab increases to 10 inches thick between gridlines T28 and T29. The flat plates have uniformly spaced draped post tensioning monostrand tendons that typically span in the east/west direction at 3 feet on center. The live end anchors alternate between the east and west elevations. Undulating, banded, monostrand tendons span in the north/south direction at the column lines. Conventional reinforcing is also provided with a continuous bottom mat in both directions and top bars in both directions at the columns. Additionally, stud rails are provided at some but not all of the columns. Post-tensioned cantilever balconies are provided on all elevations.

The building is clad with an exterior insulation and finishing system (EIFS) and the building has a flat roof (Figures 1-4). The building was designed by EDI International (EDI) and the structural engineer of record is Henderson Rogers Structural Engineers (HRSE).

DOCUMENTS REVIEWED

The following documents were reviewed by WJE to gather a basic understanding of the building design and construction:

- Architectural Drawings, As Built Set, issued by EDI on April 20, 2022.
- Structural Drawings issued by HRSE for permit on July 16, 2019.
- Post Tensioning Shop Drawings issued by CCL dated February 6, 2020.
- Rebar Shop Drawings issued by CMC Rebar dated November 24, 2020.
- No special inspections reports were provided to WJE for this building.

³ Stud rails are welded assemblies of steel strips and headed studs that are positioned around columns to enhance the punching shear strength of the slabs

Finally, WJE reviewed a report issued by Desimone Consulting Engineers entitled: "*Opus Harbor Point (Bldg. P3)- On-Site Structural Assessment*" dated May 9, 2022. The following is described in the report:

- Desimone conducted a visual assessment.
- The exposed garage structure was found to generally be in good condition.
- Shrinkage cracks were observed but are not of structural concern.
- The remainder of the residential spaces in the podium levels and tower levels as well as other interior occupied amenity and lobby spaces were covered by finishes. No visual indications of structural concern such as cracks in the finishes, cracks in the ceilings and walls, or perceptible excessive slab deflections at the first-floor lobby spaces and amenity spaces above were noted.
- Based on the on-site visual observations, Desimone did not observe any items of structural concern.
- Typical shrinkage cracks on the garage level slabs and foundation walls should be sealed as a general maintenance item and should be monitored on a regular basis to prevent future structural deterioration.
- Desimone apparently performed no calculations in support of their opinions.

OBSERVATIONS

On May 19, 2022, John Cocca, P.E., Hannah Rakowski, P.E., Chase Gallik, and Tom Fayomi performed a limited visual review of the building. Prior to our site visit, we reviewed the drawings to look for areas of structural anomalies such as steps in the slabs, large openings or other features that could create design or construction issues. During our visit, WJE visually reviewed the exposed structure within the parking garage, the 4th floor terrace and amenity spaces, 26 apartments within the tower and various halls and stairwells. Field sheets indicating the areas surveyed are provided in Appendix A. The following conditions were noted:

Garage

- Basement Level of garage appears in good condition no deleterious conditions were noted (Figure 5). A few hairline shrinkage cracks were noted at the underside of the 1st and 2nd floor slabs with efflorescence emanating from the cracks. Some of the cracks appear on either side of a construction joint. (Figures 6).
- The second Level of garage appears in good condition. WJE identified 3 broken tendons at the ramp in which the dead-end anchorage appears to have spalled the concrete after becoming de-tensioned (Figure 7). WJE notified Baker Concrete Construction (BCC) immediately. The condition was reviewed by HRSE and they issued a report on June 8, 2022 titled "*Level 2 Pour 1 P1-22 and P1-24 Broken Tendons.*" The report indicated that analysis was performed by HRSE and CCL, the post-tensioning engineer, and both conclude that there is enough residual strength in the system that no repairs need to be performed at the 3 broken tendons. BCC patched the spalled areas of concrete.
- The third Level of garage appears in good condition. A leak near the pool was identified near a pipe penetration in the slab at the ramp from the second level to the third level (Figure 8).

- WJE reviewed areas beneath the 4th floor terrace where the slab steps up or down changing elevation and found no deleterious conditions.

Terrace

- WJE visually reviewed the amenity terrace at the 4th floor level and did not observe any cracking in finishes or excessive deflections that could be an indication of an underlying structural issue (Figures 9-11).

Tower/Interior Spaces

- WJE visually reviewed 26 apartments and all accessible public and amenities spaces. As part of our review, WJE was looking for cracks in the drywall finishes especially at doorways and floor to ceiling transitions that may be an indication of recent movement. Additionally, WJE was looking for separations in the trim or gaps in the trim that may indicate the presence of slab deflections. No deleterious conditions were noted at the reviewed areas (Figures 12-15).
- Elevator lobbies and corridors were visually inspected for similar cracks and separations. In some instances, the slab was exposed at the corridor; no deleterious conditions were noted at the reviewed areas (Figures 16).
- The north and south stair towers were also partially reviewed. At these locations, painted concrete shear wall are exposed. No cracking or deleterious conditions were noted at the reviewed areas (Figures 17).

Exterior

- WJE visually reviewed the exterior elevations of the building from grade, terraces of select apartments and from the 4th floor terrace. In general, WJE did not observe any cracking in the EIFS or exposed concrete that would be indicative of an underlying structural issue.

CONCLUSIONS

Based on our limited review of the provided documents and our visual assessment of the building, WJE did not identify any conditions that would be indicative of an underlying structural issue at the building at the time of our inspections.

RECOMMENDATIONS

Based on our review, WJE would offer the following recommendations to the owner to prolong the life of the structure and help to limit future maintenance.

- WJE would recommend routing and sealing the shrinkage cracks to prevent the ingress of air and water which could result in corrosion of the underlying steel and/or post tensioning.
- WJE would recommend repairing leaks emanating from the 4th level terrace to prevent premature deterioration of the concrete slab and underlying reinforcement.

- The owner should consider applying a penetrating sealer to the parking levels or installing a traffic coating to protect the mild reinforcement from chloride laden water that get tracked into the garage from vehicles

If you have any questions, please feel free to contact us.

Sincerely,

WISS, JANNEY, ELSTNER ASSOCIATES, INC.



John Cocca, P.E.
Associate Principal & Project Manager





Figure 1- Opus P3: East Elevation



Figure 2 - Opus P3: West Elevation



Figure 3- Opus P3: South Elevation



Figure 4- Opus P3: North Elevation



Figure 5- Basement Level of Garage in Good Condition



Figure 6- Level 1 - Parking Garage - Shrinkage cracks



Figure 7- Level 2 - Parking Garage – Broken PT strand



Figure 8- Level 3 – Parking Garage – Leaks at pipe penetrations near pool



Figure 9- Amenity Terrace



Figure 10- Amenity Terrace



Figure 11- Amenity Terrace



Figure 12- Unit 1307



Figure 13- Unit 1201



Figure 14- Unit 1112



Figure 15- Unit 806



Figure 16- Corridor



Figure 17- Stairway

EDF International, PC
 3156 EAST STREET
 NEW BRITAIN, CT 06053
 TEL: 860-765-4444
 FAX: 860-765-4445
 WWW.EDFINTERNATIONAL.COM

TECHNICAL STAFF
 PROJECT MANAGER: *[Signature]*
 DESIGNER: *[Signature]*
 CHECKER: *[Signature]*
 DATE: 08/25/2011

PROJECT INFORMATION
 PROJECT NAME: **HARBOR POINT BLOCK P3**
 ADDRESS: **STAMFORD, CT**
 CLIENT: *[Signature]*

REVISIONS

GENERAL PLAN NOTES

FLOOR PLAN KEYNOTES

UTILITY AREAS

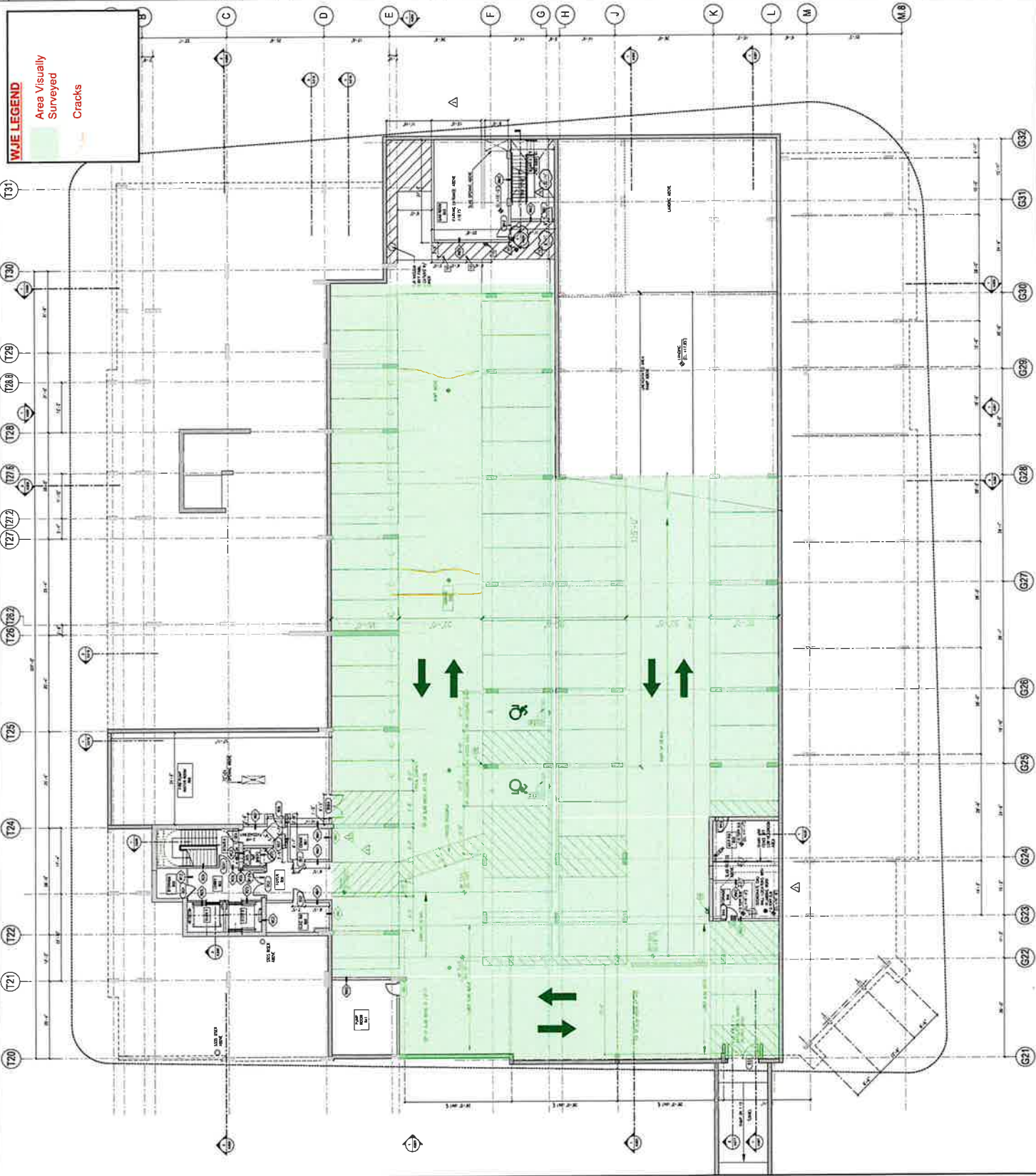
WJJE LEGEND

- Area Visually Surveyed
- Cracks

RCP LEGEND

KEY PLAN

A100





ED International, PC
 5000 W. 10th Street
 Suite 100
 Minneapolis, MN 55425
 Tel: 612.338.1100
 Fax: 612.338.1101
 www.edintl.com

COLLECTIVE DESIGN
 ARCHITECTS
 1000 W. Hennepin Avenue
 Suite 100
 Minneapolis, MN 55402
 Tel: 612.338.1100
 Fax: 612.338.1101
 www.cdcad.com

MA & P&E, INC.
 1000 W. Hennepin Avenue
 Suite 100
 Minneapolis, MN 55402
 Tel: 612.338.1100
 Fax: 612.338.1101
 www.mape.com

HARBOR POINT
 BLOCK P3
 STAMFORD, CT

1ST FLOOR PLAN
 10/1/07

A101

FLOOR PLAN LEGEND

WJE LEGEND

Area Visually Surveyed
 Cracks

RCP LEGEND

1. RCP 12" DIA. x 18" DEPT. x 12' LONG
 2. RCP 12" DIA. x 18" DEPT. x 6' LONG
 3. RCP 12" DIA. x 18" DEPT. x 3' LONG

GENERAL PLAN NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS FOR ALL MATERIALS AND EQUIPMENT.

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE REGULATIONS.

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND ALL APPLICABLE REGULATIONS.

5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND PLUMBING EXAMINERS' BOARD (IMPEB) AND ALL APPLICABLE REGULATIONS.

6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF CEMENT MORTAR FINISHERS (IACMFI) AND ALL APPLICABLE REGULATIONS.

7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF BRICKMASTERS (IAB) AND ALL APPLICABLE REGULATIONS.

8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF PLASTERERS (IAP) AND ALL APPLICABLE REGULATIONS.

9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF CARPENTERS (IAC) AND ALL APPLICABLE REGULATIONS.

10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF WOODWORKERS (IAW) AND ALL APPLICABLE REGULATIONS.

11. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF LEADERSHIP PROFESSIONALS (IALP) AND ALL APPLICABLE REGULATIONS.

12. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF PROFESSIONAL ENGINEERS (IAPPE) AND ALL APPLICABLE REGULATIONS.

13. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF ARCHITECTS (IAA) AND ALL APPLICABLE REGULATIONS.

14. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF DESIGNERS (IAD) AND ALL APPLICABLE REGULATIONS.

15. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF CONSTRUCTION MANAGERS (IACM) AND ALL APPLICABLE REGULATIONS.

16. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF PROJECT MANAGERS (IAPM) AND ALL APPLICABLE REGULATIONS.

17. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF QUALITY MANAGERS (IAQM) AND ALL APPLICABLE REGULATIONS.

18. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF RISK MANAGERS (IARM) AND ALL APPLICABLE REGULATIONS.

19. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF SUSTAINABILITY MANAGERS (IASM) AND ALL APPLICABLE REGULATIONS.

20. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF LEAN MANUFACTURING (IALM) AND ALL APPLICABLE REGULATIONS.

21. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF SIX SIGMA (IAS) AND ALL APPLICABLE REGULATIONS.

22. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF TQM (IATQM) AND ALL APPLICABLE REGULATIONS.

23. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF ISO 9000 (IAISO) AND ALL APPLICABLE REGULATIONS.

24. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF ISO 14000 (IAISO14) AND ALL APPLICABLE REGULATIONS.

25. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF ISO 26000 (IAISO26) AND ALL APPLICABLE REGULATIONS.

FLOOR PLAN REVNOTES

1. REVISED PER ARCHITECT'S COMMENTS.

2. REVISED PER ENGINEER'S COMMENTS.

3. REVISED PER CONTRACTOR'S COMMENTS.

4. REVISED PER INSPECTOR'S COMMENTS.

5. REVISED PER OWNER'S COMMENTS.

6. REVISED PER CONSULTANT'S COMMENTS.

7. REVISED PER ADJUTANT GENERAL'S COMMENTS.

8. REVISED PER ADJUTANT GENERAL'S COMMENTS.

9. REVISED PER ADJUTANT GENERAL'S COMMENTS.

10. REVISED PER ADJUTANT GENERAL'S COMMENTS.

11. REVISED PER ADJUTANT GENERAL'S COMMENTS.

12. REVISED PER ADJUTANT GENERAL'S COMMENTS.

13. REVISED PER ADJUTANT GENERAL'S COMMENTS.

14. REVISED PER ADJUTANT GENERAL'S COMMENTS.

15. REVISED PER ADJUTANT GENERAL'S COMMENTS.

16. REVISED PER ADJUTANT GENERAL'S COMMENTS.

17. REVISED PER ADJUTANT GENERAL'S COMMENTS.

18. REVISED PER ADJUTANT GENERAL'S COMMENTS.

19. REVISED PER ADJUTANT GENERAL'S COMMENTS.

20. REVISED PER ADJUTANT GENERAL'S COMMENTS.

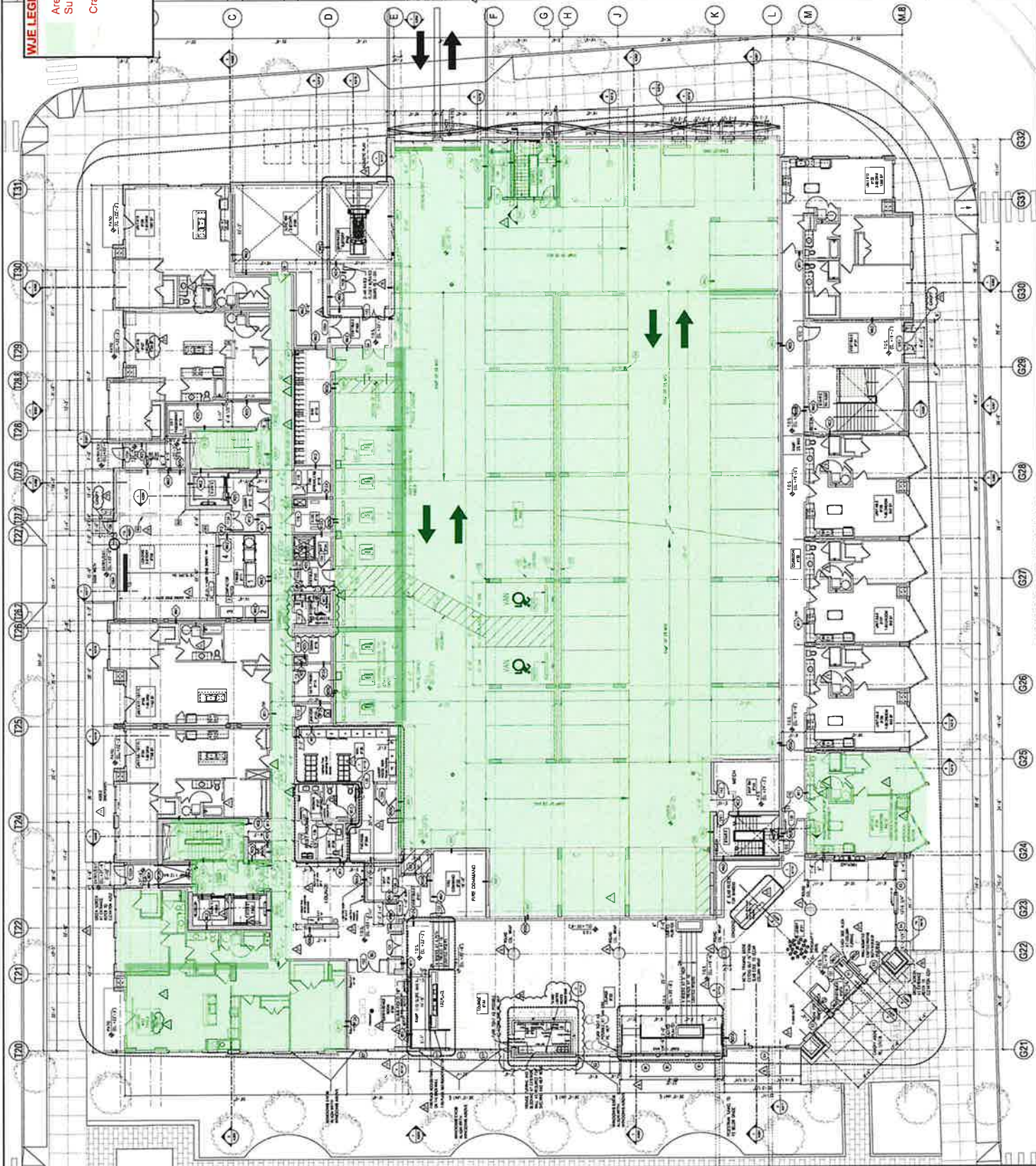
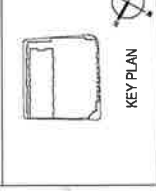
21. REVISED PER ADJUTANT GENERAL'S COMMENTS.

22. REVISED PER ADJUTANT GENERAL'S COMMENTS.

23. REVISED PER ADJUTANT GENERAL'S COMMENTS.

24. REVISED PER ADJUTANT GENERAL'S COMMENTS.

25. REVISED PER ADJUTANT GENERAL'S COMMENTS.





EDF International, Inc.
 500 WEST 10TH STREET
 SUITE 1000
 DENVER, CO 80202
 TEL: 303.733.1000
 FAX: 303.733.1001
 WWW.EDF.COM

CONTRACT NO. 1
REVISIONS & REVISIONS
DATE
DESCRIPTION

PROJECT NO.
PROJECT NAME
PROJECT ADDRESS

**HARBOR POINT
 BLOCK P3
 STAMFORD, CT**



GENERAL NOTES
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.

A102
KEY PLAN

FLOOR PLAN LEGEND

	Area Visually Surveyed
	Cracks

ROP LEGEND

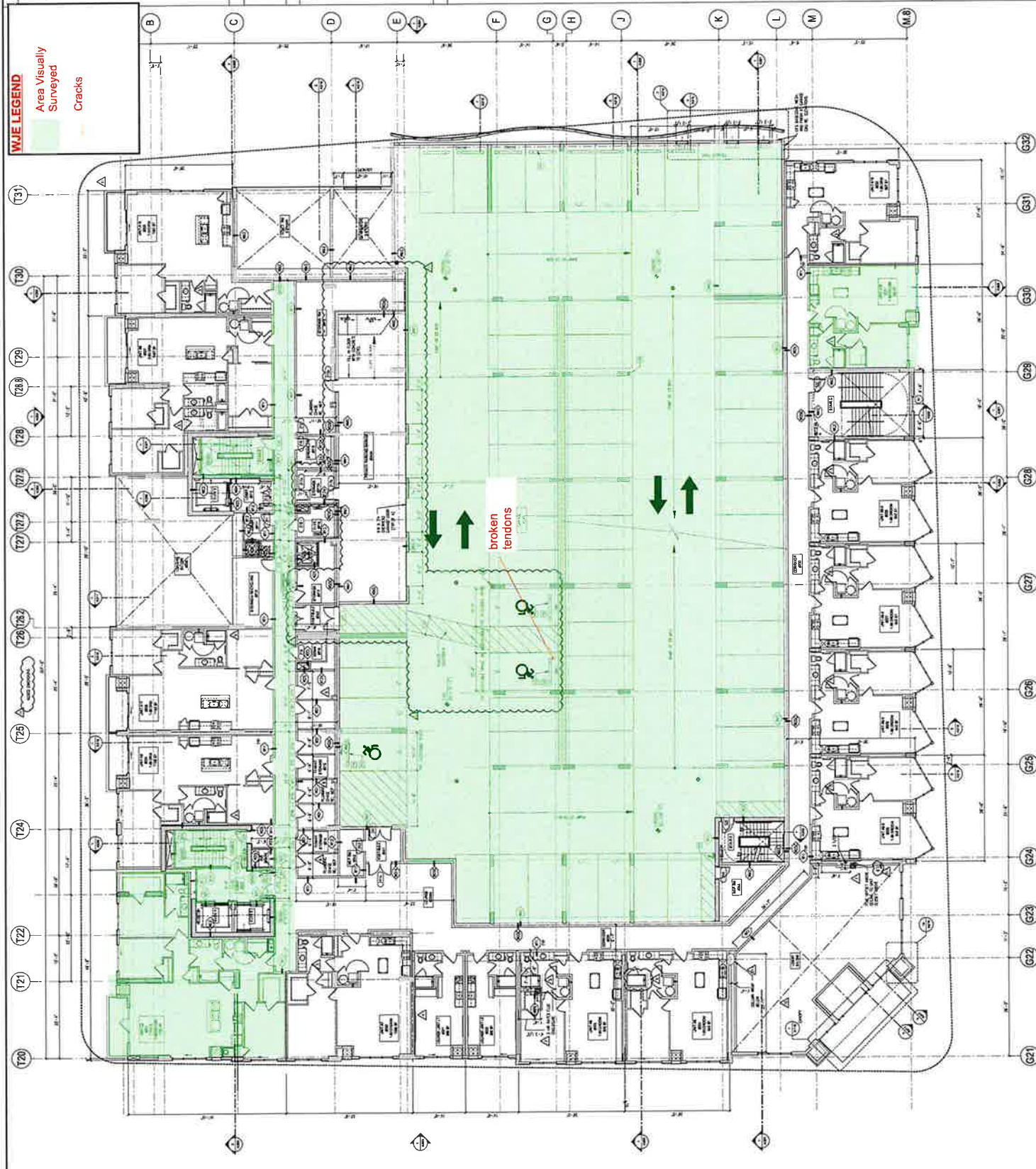
	ROP 1
	ROP 2
	ROP 3
	ROP 4
	ROP 5
	ROP 6
	ROP 7
	ROP 8
	ROP 9
	ROP 10

GENERAL PLAN NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.

FLOOR PLAN KEYNOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.



WJE LEGEND
 Area Visually Surveyed
 Cracks

KEY PLAN



INTERNATIONAL, PC
 5101 W. 10TH STREET
 SUITE 200
 MINNEAPOLIS, MN 55425
 TEL: 612.338.1100
 FAX: 612.338.1101
 WWW.EDFINTERNATIONAL.COM

EDF INTERNATIONAL, INC.
 100 WEST WASHINGTON STREET
 SUITE 200
 STAMFORD, CT 06901
 TEL: 203.353.1100
 FAX: 203.353.1101
 WWW.EDFINTERNATIONAL.COM



**HARBOR POINT
 BLOCK P3
 STAMFORD, CT**

A104

FLOOR PLAN LEGEND

	Area Visually Surveyed
	Cracks

RCP LEGEND

	RCP 1
	RCP 2
	RCP 3
	RCP 4
	RCP 5
	RCP 6
	RCP 7
	RCP 8
	RCP 9
	RCP 10
	RCP 11
	RCP 12
	RCP 13
	RCP 14
	RCP 15
	RCP 16
	RCP 17
	RCP 18
	RCP 19
	RCP 20
	RCP 21
	RCP 22
	RCP 23
	RCP 24
	RCP 25
	RCP 26
	RCP 27
	RCP 28
	RCP 29
	RCP 30
	RCP 31
	RCP 32
	RCP 33
	RCP 34
	RCP 35
	RCP 36
	RCP 37
	RCP 38
	RCP 39
	RCP 40
	RCP 41
	RCP 42
	RCP 43
	RCP 44
	RCP 45
	RCP 46
	RCP 47
	RCP 48
	RCP 49
	RCP 49

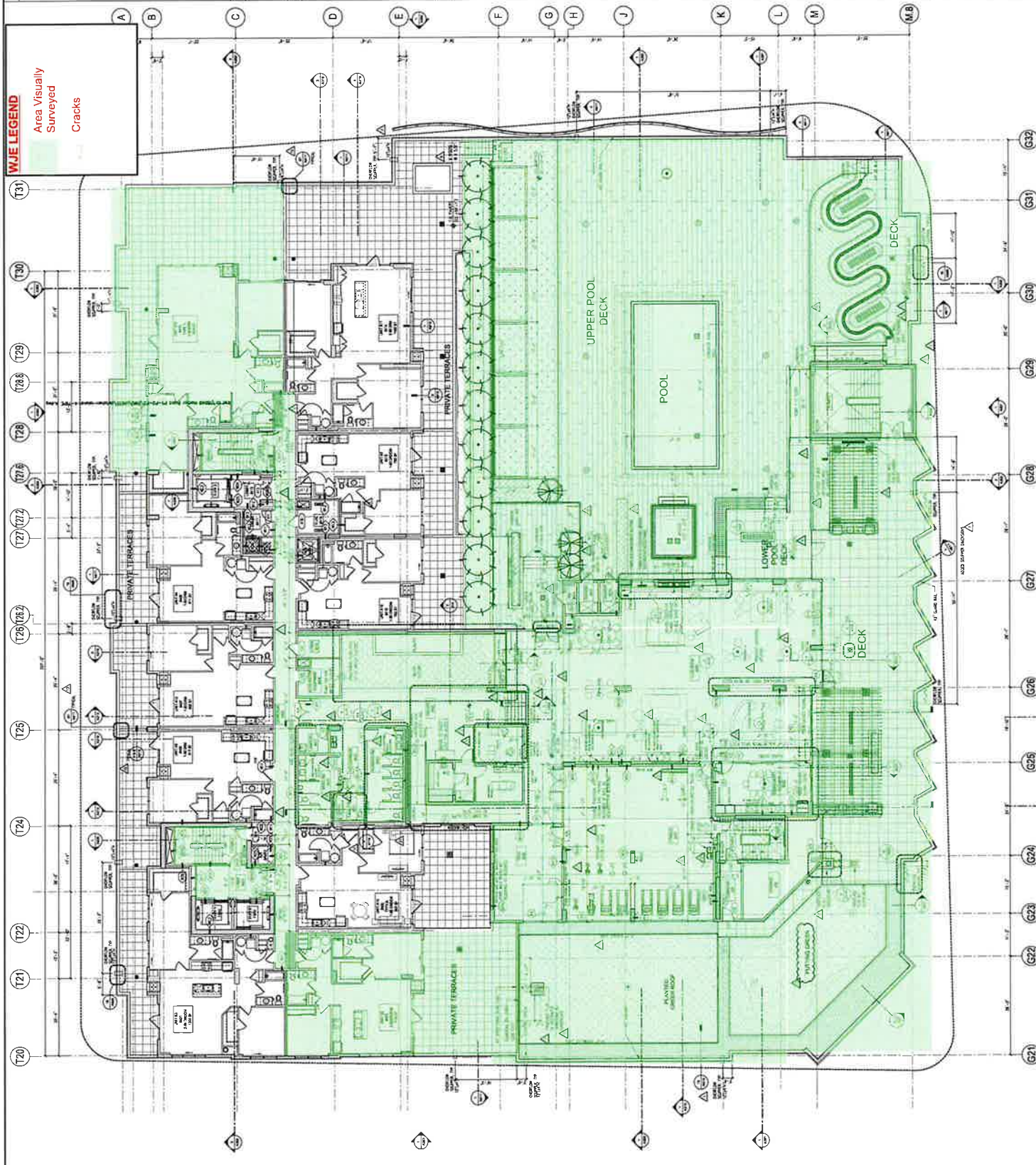
GENERAL PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL FINISHES ARE TO BE AS SHOWN ON THE DRAWINGS.
3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE AS SHOWN ON THE DRAWINGS.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
5. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITY.
6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.
8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED QUALITY STANDARDS.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SAFETY STANDARDS.
10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ENVIRONMENTAL STANDARDS.
11. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SOCIAL STANDARDS.
12. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ECONOMIC STANDARDS.
13. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED CULTURAL STANDARDS.
14. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED HISTORICAL STANDARDS.
15. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ARCHITECTURAL STANDARDS.
16. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ENGINEERING STANDARDS.
17. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SCIENTIFIC STANDARDS.
18. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TECHNICAL STANDARDS.
19. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ARTISTIC STANDARDS.
20. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED CRAFTSMANSHIP STANDARDS.
21. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED INNOVATION STANDARDS.
22. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SUSTAINABILITY STANDARDS.
23. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED RESILIENCE STANDARDS.
24. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ADAPTABILITY STANDARDS.
25. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED FLEXIBILITY STANDARDS.
26. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED INCLUSIVITY STANDARDS.
27. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED EQUITY STANDARDS.
28. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED JUSTICE STANDARDS.
29. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED DEMOCRACY STANDARDS.
30. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TRANSPARENCY STANDARDS.
31. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ACCOUNTABILITY STANDARDS.
32. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED RESPONSIBILITY STANDARDS.
33. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ETHICS STANDARDS.
34. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED INTEGRITY STANDARDS.
35. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED HONESTY STANDARDS.
36. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED FAITHFULNESS STANDARDS.
37. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED COURAGE STANDARDS.
38. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED COURTESY STANDARDS.
39. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED RESPECT STANDARDS.
40. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED KINDNESS STANDARDS.
41. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED COMPASSION STANDARDS.
42. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED EMPATHY STANDARDS.
43. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SYMPATHY STANDARDS.
44. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SOLIDARITY STANDARDS.
45. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED COOPERATION STANDARDS.
46. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TEAMWORK STANDARDS.
47. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED COLLABORATION STANDARDS.
48. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED PARTNERSHIP STANDARDS.
49. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED COMMUNITY STANDARDS.
50. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SOCIETY STANDARDS.

FLOOR PLAN KEYNOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL FINISHES ARE TO BE AS SHOWN ON THE DRAWINGS.
3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE AS SHOWN ON THE DRAWINGS.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
5. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITY.
6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.
8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED QUALITY STANDARDS.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SAFETY STANDARDS.
10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ENVIRONMENTAL STANDARDS.
11. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SOCIAL STANDARDS.
12. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ECONOMIC STANDARDS.
13. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED CULTURAL STANDARDS.
14. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED HISTORICAL STANDARDS.
15. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ARCHITECTURAL STANDARDS.
16. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ENGINEERING STANDARDS.
17. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SCIENTIFIC STANDARDS.
18. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TECHNICAL STANDARDS.
19. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ARTISTIC STANDARDS.
20. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED CRAFTSMANSHIP STANDARDS.
21. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED INNOVATION STANDARDS.
22. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SUSTAINABILITY STANDARDS.
23. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED RESILIENCE STANDARDS.
24. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ADAPTABILITY STANDARDS.
25. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED FLEXIBILITY STANDARDS.
26. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED INCLUSIVITY STANDARDS.
27. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED EQUITY STANDARDS.
28. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED JUSTICE STANDARDS.
29. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED DEMOCRACY STANDARDS.
30. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TRANSPARENCY STANDARDS.
31. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ACCOUNTABILITY STANDARDS.
32. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED RESPONSIBILITY STANDARDS.
33. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ETHICS STANDARDS.
34. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED INTEGRITY STANDARDS.
35. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED HONESTY STANDARDS.
36. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED FAITHFULNESS STANDARDS.
37. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED COURAGE STANDARDS.
38. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED COURTESY STANDARDS.
39. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED RESPECT STANDARDS.
40. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED KINDNESS STANDARDS.
41. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED COMPASSION STANDARDS.
42. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED EMPATHY STANDARDS.
43. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SYMPATHY STANDARDS.
44. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SOLIDARITY STANDARDS.
45. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED COOPERATION STANDARDS.
46. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TEAMWORK STANDARDS.
47. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED COLLABORATION STANDARDS.
48. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED PARTNERSHIP STANDARDS.
49. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED COMMUNITY STANDARDS.
50. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SOCIETY STANDARDS.

KEY PLAN





EDF
 31 EAST 15th STREET
 NEW YORK, NY 10003
 TEL: 212 512 2000
 FAX: 212 512 2001
 WWW.EDF.COM

EDF
 31 EAST 15th STREET
 NEW YORK, NY 10003
 TEL: 212 512 2000
 FAX: 212 512 2001
 WWW.EDF.COM

EDF
 31 EAST 15th STREET
 NEW YORK, NY 10003
 TEL: 212 512 2000
 FAX: 212 512 2001
 WWW.EDF.COM

EDF
 31 EAST 15th STREET
 NEW YORK, NY 10003
 TEL: 212 512 2000
 FAX: 212 512 2001
 WWW.EDF.COM

EDF
 31 EAST 15th STREET
 NEW YORK, NY 10003
 TEL: 212 512 2000
 FAX: 212 512 2001
 WWW.EDF.COM

EDF
 31 EAST 15th STREET
 NEW YORK, NY 10003
 TEL: 212 512 2000
 FAX: 212 512 2001
 WWW.EDF.COM

EDF
 31 EAST 15th STREET
 NEW YORK, NY 10003
 TEL: 212 512 2000
 FAX: 212 512 2001
 WWW.EDF.COM

FLOOR PLAN LEGEND

CRACKS
 VISUALLY SURVEYED
 AREA

RCP LEGEND

REPAIRS TO CONCRETE
 REPAIRS TO MASONRY
 REPAIRS TO METALS
 REPAIRS TO GLASS

GENERAL PLAN NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE BUILDING CODE OF THE CITY OF NEW YORK.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE BUILDING CODE OF THE CITY OF NEW YORK.

FLOOR PLAN KEYNOTES

1. CRACKS VISUALLY SURVEYED

2. VISUALLY SURVEYED AREA

FLOOR PLAN KEYNOTES

1. CRACKS VISUALLY SURVEYED

2. VISUALLY SURVEYED AREA

FLOOR PLAN KEYNOTES

1. CRACKS VISUALLY SURVEYED

2. VISUALLY SURVEYED AREA

FLOOR PLAN KEYNOTES

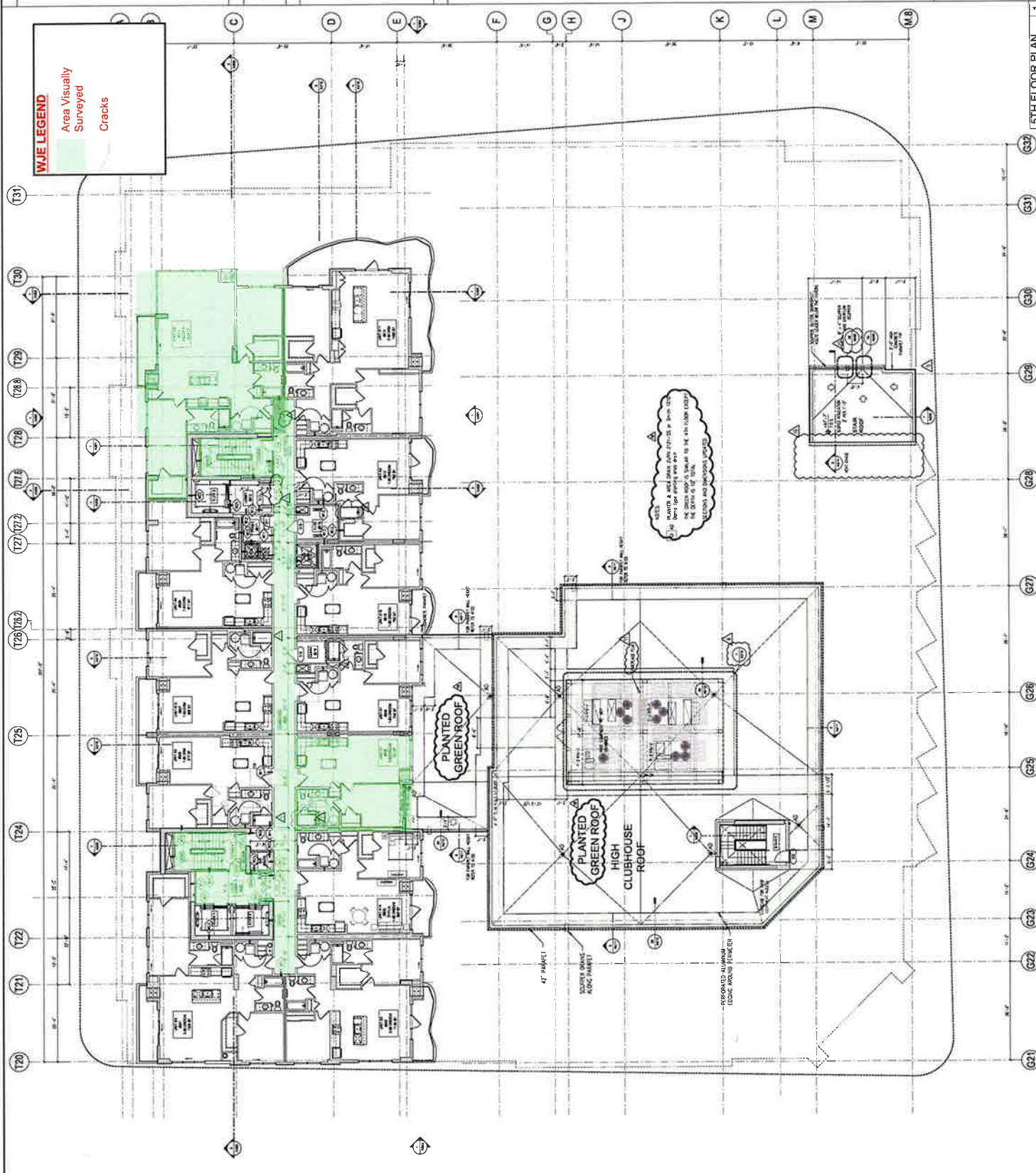
1. CRACKS VISUALLY SURVEYED

2. VISUALLY SURVEYED AREA

FLOOR PLAN KEYNOTES

1. CRACKS VISUALLY SURVEYED

2. VISUALLY SURVEYED AREA





International PC
 5151 S. STATE ST.
 SUITE 200
 STAMFORD, CT 06907
 (203) 353-1100
 WWW.INTERNATIONALPC.COM

INTERNATIONAL LAND
 TECHNOLOGY
 1000 W. 10TH ST.
 SUITE 100
 DENVER, CO 80202
 (303) 733-1100
 WWW.INTERNATIONALLANDTECH.COM

REYNOLDS & ALBANI
 1000 W. 10TH ST.
 SUITE 100
 DENVER, CO 80202
 (303) 733-1100
 WWW.REYNOLDSALBANI.COM

COLLECTIVE DESIGN
 1000 W. 10TH ST.
 SUITE 100
 DENVER, CO 80202
 (303) 733-1100
 WWW.COLLECTIVEDSIGN.COM

PLISS & O'NEIL, INC.
 1000 W. 10TH ST.
 SUITE 100
 DENVER, CO 80202
 (303) 733-1100
 WWW.PLISSANDONEIL.COM

STAFF: PROJECT MANAGER, ARCHITECT, ENGINEER, SURVEYOR, DESIGNER, WRITER, REVISIONS, CHECKER, DRAWING ROOM, PROJECT COORDINATOR, QUALITY CONTROL, ESTIMATOR, SALES, ADMINISTRATION, SUPPORT STAFF

DATE: 08/11/11
 BY: J. BETH
 CHECKED: J. BETH
 SCALE: AS SHOWN

A106

FLOOR PLAN LEGEND

- Area Visually Surveyed
- Cracks

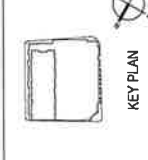
RCP LEGEND

GENERAL PLAN NOTES

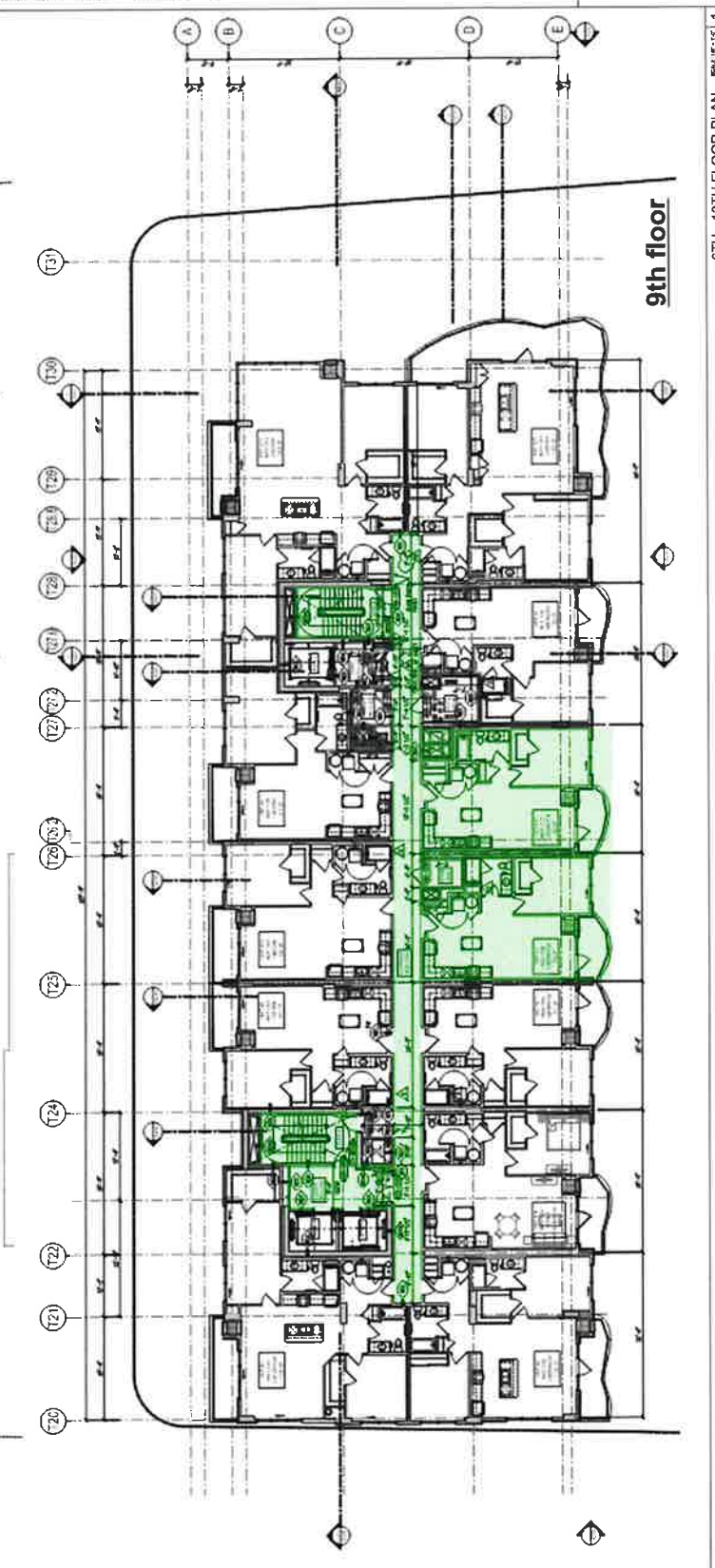
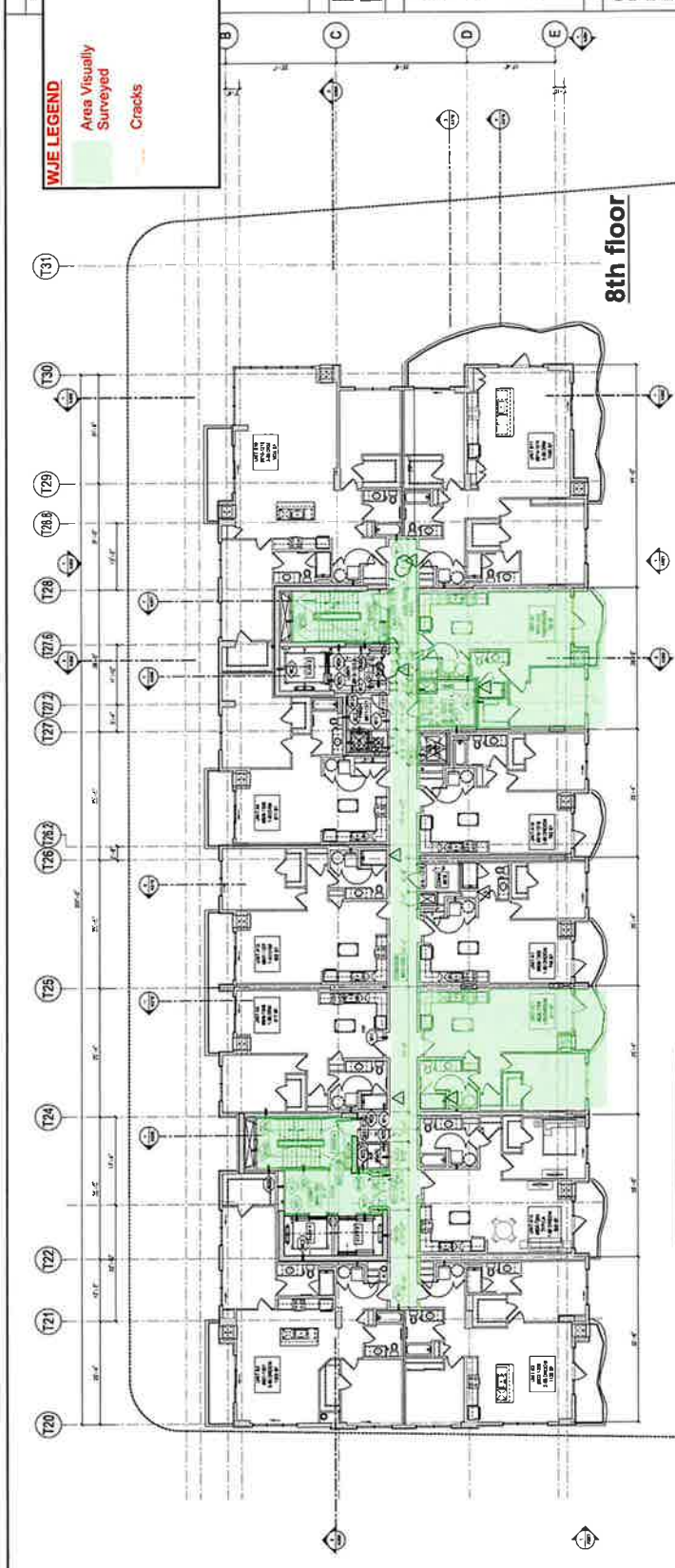
FLOOR PLAN KEYNOTES

GENERAL NOTES

GENERAL NOTES



KEY PLAN





EDF
 EDWARDS & KELCEY, INC.
 1000 WEST 10TH AVENUE
 SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1000
 FAX: 303.733.1001
 WWW.EDFENGINEERS.COM

EDWARDS & KELCEY, INC.
 1000 WEST 10TH AVENUE
 SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1000
 FAX: 303.733.1001
 WWW.EDFENGINEERS.COM

HARBOR POINT
BLOCK P3
 STAMFORD, CT



PROJECT INFORMATION
 PROJECT NO. 15-001
 SHEET NO. A107
 DATE: 11/15/11
 DRAWN BY: J. W. JONES
 CHECKED BY: M. J. KELCEY
 APPROVED BY: M. J. KELCEY

A107

FLOOR PLAN LEGEND

- Area Visually Surveyed
- Cracks

ROP LEGEND

GENERAL PLAN NOTES

FLOOR PLAN KEYNOTES

KEY PLAN

